

CITY OF ARCADIA

Arcadia Planning Commission Regular Meeting Agenda



Tuesday, January 26, 2021, 7:00 p.m.

COVID-19 NOTICE

As part of the City of Arcadia's COVID-19 transmission mitigation efforts, this meeting of the Arcadia Planning Commission will be conducted virtually and the public is discouraged from attending. Per the Brown Act, the public will still be provided the ability to make public comments. For members of the public who would like to participate virtually, the meeting will be streamed live on the City's website ArcadiaCA.gov/liveplanning and on ACTV.

How to Submit Public Comment:

1. **Email:** Please submit your comments via email to planning@ArcadiaCA.gov at least 30 minutes prior to the posted meeting time. Your comments should be 300 words or less.
2. **Phone:** A conference line has been established for public comment. Your call will be recognized in the order it was received. Please keep your phone on MUTE until you are recognized for public comment.

Conference Line: (786) 535-3211
Access Code: 524-582-021#

Please contact the Planning Division at planning@ArcadiaCA.gov or at (626) 574-5423 for more information.

新型冠状病毒（COVID-19）通知

作为阿凯迪亚市政府缓解 COVID-19 传播工作的一部分，本次阿凯迪亚市议会会议将以虚拟方式举行，不鼓励公众参加。根据《布朗法案》，仍将向公众提供发表评论意见的机会。对于希望以虚拟方式参加会议的公众，会议将在本市网站 ArcadiaCA.gov/liveplanning 和 ACTV 上进行现场直播。

如何提交公众评论意见：

1. **电子邮件：**请通过向 planning@ArcadiaCA.gov 发电子邮件的方式提交您的评论意见，须在公布的会议时间至少提前 30 分钟收到提交的评论意见。您的电子邮件不得超过 300 个字。
2. **电话：**已经为公众提交评论意见设立一条会议专线。公众打来的电话按先后顺序接听。您应当将您的电话设为“静音”，直至轮到您提出评论意见。

会议专线： (786) 535-3211
接入代码： 524-582-021#

详情请洽规划部，电子邮件 planning@ArcadiaCA.gov，电话号码 (626) 574-5423。

Pursuant to the Americans with Disabilities Act, persons with a disability who require a disability related modification or accommodation in order to participate in a meeting, including auxiliary aids or services, may request such modification or accommodation from Planning Services at (626) 574-5423. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to assure accessibility to the meeting.

根据《美国残障人法案》的规定，需要提供残障相关调整或便利设施才能参加会议的残障人士（包括辅助器材或服务），可向规划服务部请求获得此类调整或便利设施，电话号码 (626) 574-5423。请在会前 48 小时通知规划服务部，以便作出合理安排，确保顺利参加会议。

Pursuant to the City of Arcadia's Language Access Services Policy, limited-English proficient speakers who require translation services in order to participate in a meeting may request the use of a volunteer or professional translator by contacting the City Clerk's Office at (626) 574-5455 at least 72 hours prior to the meeting.

根据阿凯迪亚市的语言便利服务政策，英语能力有限并需要翻译服务才能参加会议的人可与市书记官办公室联系（电话：626-574-5455），请求提供志愿或专业翻译服务，请至少在会前 72 小时提出请求。

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

Marilynne Wilander, Chair
Zi Lin, Vice Chair
Kenneth Chan, Commissioner
Brad Thompson, Commissioner

SUPPLEMENTAL INFORMATION FROM STAFF REGARDING AGENDA ITEMS

PUBLIC COMMENTS (5 minute time limit per person)

Each speaker is limited to three (5) minutes per person, unless waived by the Planning Commission. Under the Brown Act, the Commission or Board Members are prohibited from discussing or taking action on any item not listed on the posted agenda.

PUBLIC HEARING

All interested persons are invited to appear at a public hearing and to provide evidence or testimony concerning any of the proposed items set forth below for consideration. Separate and apart from the applicant (who may speak longer in the discretion of the Commission) speakers shall be limited to **five (5) minutes per person**. The applicant may additionally submit rebuttal comments, at the discretion of the Commission.

You are hereby advised that should you desire to legally challenge in court or in an administrative proceeding any action taken by the City Council regarding any public hearing item, you may be limited to raising only those issues and objections you or someone else raised at the public hearing or in written correspondence delivered to the City Council at, or prior to, the public hearing.

- 1. Resolution No. 2070** – Approving Conditional Use Permit No. CUP 19-17 with a Categorical Exemption under the California Environmental Quality Act (CEQA) to allow the sale of beer and wine for on-site consumption within an existing full-service restaurant at 815 W. Naomi Avenue, Suite F

Recommendation: Adopt Resolution No. 2070

Applicant: Young Min Chung, on behalf of MKZ Global Corp

There is a ten day appeal period after the adoption of the Resolution. If adopted, appeals are to be filed by 4:30 p.m. on February 5, 2021.

- Resolution No. 2071** – Approving Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 (83113), with a Categorical Exemption under the California Environmental Quality Act (CEQA) for a three-unit, multi-family residential condominium development at 147 Alice Street

Recommendation: Adopt Resolution No. 2071

Applicant: Tom Li of Prestige Design, Planning & Development, on behalf of the Property Owner, Soliel Homes, Inc.

There is a ten day appeal period after the adoption of the Resolution. If adopted, appeals are to be filed by 4:30 p.m. on February 5, 2021.

CONSENT CALENDAR

All matters listed under the Consent Calendar are considered to be routine and can be acted on by one roll call vote. There will be no separate discussion of these items unless members of the Commission, staff, or the public request that specific items be removed from the Consent Calendar for separate discussion and action.

- Minutes of the December 22, 2020 Regular Meeting of the Planning Commission

Recommendation: Approve

MATTERS FROM CITY COUNCIL LIASION

MATTERS FROM PLANNING COMMISSIONERS

MATTERS FROM ASSISTANT CITY ATTORNEY

MATTERS FROM STAFF INCLUDING UPCOMING AGENDA ITEMS

ADJOURNMENT

The Planning Commission will adjourn this meeting to Tuesday, February 9, 2021, at 7:00 p.m.



STAFF REPORT

Development Services Department

DATE: January 26, 2021

TO: Honorable Chairman and Planning Commission

FROM: Lisa L. Flores, Planning & Community Development Administrator
By: Luis Torrico, Senior Planner

SUBJECT: RESOLUTION NO. 2070 – APPROVING CONDITIONAL USE PERMIT NO. CUP 19-17 WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) TO ALLOW THE SALE OF BEER AND WINE FOR ON-SITE CONSUMPTION WITHIN AN EXISTING FULL-SERVICE RESTAURANT AT 815 W. NAOMI AVENUE, SUITE F

Recommendation: Adopt Resolution No. 2070

SUMMARY

The applicant and business owner, Young Min Chung, on behalf of MKZ Global Corp, is requesting approval of Conditional Use Permit Application No. CUP 19-17 to allow the sale of beer and wine for on-site consumption (Type 41) within the existing full-service restaurant (d.b.a. Kokumi California Shabu) at 815 W. Naomi Avenue, Suite F. It is recommended that the Planning Commission adopt Resolution No. 2070 (Attachment No. 1) and find that the project is Categorically Exempt under CEQA and approve Conditional Use Permit No. CUP 19-17, subject to the conditions listed in this staff report.

BACKGROUND

The subject tenant space is located within the Arcadia Hub Shopping Center that fronts Duarte Road, Baldwin Avenue, and Naomi Avenue. The existing 1,550 square foot restaurant is located on the west side of the center, adjacent to Vons supermarket. The restaurant has been in operation since August 2018. The zoning of this property is C-G, General Commercial – refer to Attachment No. 2 for an Aerial Photo with Zoning Information and Photos of the subject property and surrounding properties. The property is surrounded by commercial properties to the west, east, north, and south with multi-family residentially zoned properties to the north and southwest.



Figure 1 - Aerial of subject site

PROPOSAL

The business owner of Kokumi California Shabu is requesting a Conditional Use Permit (CUP) to allow the sale of beer and wine for on-site consumption, a Type 41 (On-Sale of Beer and Wine) license from the California Department of Alcoholic Beverage Control (ABC). A Type 41 license allows the sale of beer and wine for consumption in association with a restaurant; the sale of distilled spirits is not allowed. The existing restaurant, currently has 32 seats (refer to Figure 2 & Attachment No. 3) and operates from 11:30 AM to 12:00 AM, daily. No interior remodeling or changes to the restaurant’s operations are proposed under this request. Therefore, due to the Covid-19 pandemic, and current ban on outdoor dining, the restaurant is currently closed. All Los Angeles County Health protocols will need to be followed while Covid-19 regulations are in effect.

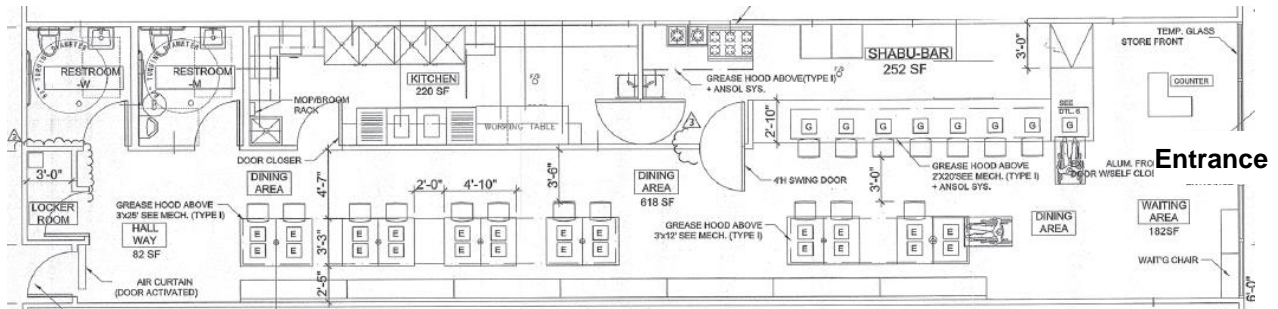


Figure 2 – Floor Plan

ANALYSIS

Per the City's Development Code, a restaurant serving alcoholic beverages in the C-G Zone is subject to a CUP. The applicant will also need approval from ABC; however, ABC will only consider the license after the CUP is approved. The request is to only serve beer and wine during the restaurant business hours. No additional parking is required with the proposed request.

The addition of alcohol sales will be an accessory use to the existing restaurant, similar to other existing restaurants in the center that serve alcohol. The application was reviewed by all applicable City Departments, including the Arcadia Police Department, and no concerns were raised with the current restaurant operation or proposed sale of alcoholic beverages. In addition, the restaurant and alcohol sales will be subject to compliance with the State Department of Alcoholic Beverage Control and the Los Angeles County Health Department.

FINDINGS

Section 9107.09.050 of the Arcadia Municipal Code requires that for a Conditional Use Permit to be granted, it must be found that all of the following prerequisite conditions can be satisfied:

1. The proposed use is consistent with the General Plan and any applicable specific plan.

Facts to Support This Finding: Approval of the sale of beer and wine for on-site consumption in conjunction with a restaurant is consistent with the Commercial Land Use Designation of the site. The Commercial designation is intended to permit a wide range of commercial uses, which serve both neighborhood and citywide markets. The existing restaurant, which will offer the sale of alcohol with an ABC Type 41 License (beer and wine only), will be incidental and complementary to the food service that is already provided within this restaurant, and be consistent with the other restaurants at this center that also serves alcoholic beverages. The proposal will not adversely affect the comprehensive General Plan and is consistent with the following General Plan policy:

Land Use and Community Design Element

- Policy LU-6.7: Encourage a balanced distribution of commercial development throughout the City, ensuring that neighborhoods and districts have adequate access to local-serving commercial uses.

2. The proposed use is allowed within the applicable zone, subject to the granting of a Conditional Use Permit, and complies with all other applicable provisions of the Development Code and the Municipal Code.

Facts to Support This Finding: The zoning of the site is C-G, General Commercial. Arcadia Development Code Section 9102.03.020, Table 2-8, allows the sale of alcohol in conjunction with a restaurant with an approved CUP. The addition of beer and wine sales for on-site consumption to the existing restaurant will be consistent with other restaurants in the C-G zone, and will be compatible with the surrounding businesses in the Arcadia Hub commercial center and general area. No additional parking, from what is existing, will be required as there is no change in use. Therefore, the sale of beer and wine sales for on-site consumption will not impact the parking at the center, and will be compatible with all other applicable provisions of the Development Code and the Municipal Code.

3. The design, location, size, and operating characteristics of the proposed activity will be compatible with the existing and future land uses in the vicinity.

Facts to Support This Finding: The existing restaurant is located within the Arcadia Hub commercial center with shared parking that adequately serves all the uses in the center. The proposed sale of beer and wine will be ancillary to the primary restaurant use and will serve to augment the overall dining experience, which will be similar to other restaurants offering similar amenities in the center and general area. Alcohol sales will be limited to the restaurant's business hours, which consist of 11:30 AM to 12:00 AM, daily. Therefore, the proposed sale of beer and wine for on-site consumption in conjunction with the operation of a full service restaurant will be compatible with the existing and future land uses in the vicinity.

4. The site is physically suitable in terms of:

- a. **Its design, location, shape, size, and operating characteristics of the proposed use in order to accommodate the use, and all fences, landscaping, loading, parking, spaces, walls, yards, and other features required to adjust the use with the land and uses in the neighborhood;**

Facts to Support This Finding: The existing restaurant will not be enlarged as part of the proposed sale of beer and wine. The existing parking in the center is not anticipated to be impacted by the proposed request, and no site improvements are proposed or required; therefore, no impacts are anticipated to the neighboring uses or properties.

- b. **Streets and highways adequate in width and pavement type to accommodate public and emergency vehicle (e.g., fire and medical) access.**

Facts to Support This Finding: The subject site is located along W. Naomi Avenue with access to the center from Duarte Road and W. Naomi Avenue. These streets are adequate in width and pavement type to carry the traffic generated by the existing restaurant and uses in the center, any other use that may occupy the site, and any emergency services that may need to access the

site. The proposed sale of beer and wine for on-site consumption in conjunction with the operation of a full service restaurant will not impact these rights-of-way.

c. Public protection services (e.g., fire protection, police protection, etc.).

Facts to Support This Finding: The subject property is developed with existing multi-tenant commercial buildings that comply with current safety requirements. No improvements to the restaurant or the site are proposed as part of this request. The proposed sale of beer and wine for on-site consumption has been reviewed by the Fire and Police Departments and no concerns were raised by either of the departments. In addition, the sale of beer and wine, and on-site consumption will be subject to compliance with the State Department of Alcoholic Beverage Control; therefore, no impacts to public protection services are anticipated.

d. The provision of utilities (e.g., potable water, schools, solid waste collection and disposal, storm drainage, wastewater collection, treatment, and disposal, etc.).

Facts to Support This Finding: The existing restaurant is located within an existing commercial center. The center is adequately served by the existing utilities. The request does not include new construction that will impact the provision of utilities, nor will it be operated in a manner that will impact the provision of utilities. Therefore, no impacts to the provision of utilities are anticipated.

5. The measure of site suitability shall be required to ensure that the type, density, and intensity of use being proposed will not adversely affect the public convenience, health, interest, safety, or general welfare, constitute a nuisance, or be materially injurious to the improvements, persons, property, or uses in the vicinity and zone in which the property is located.

Facts to Support This Finding: The request to allow the sale of beer and wine for on-site consumption within an existing restaurant will be consistent with similar previously approved uses in the C-G zone. The sale and consumption of alcohol will be done in a manner that is safe for customers of the restaurant and will not adversely affect the public convenience, health, interest, safety, or general welfare of adjacent uses in the vicinity and zone of the subject site. The restaurant will also be required to comply with the California Department of Alcoholic Beverage Control (“ABC”) regulations. In addition, the Arcadia Police and Fire Departments have reviewed the application and did not have any concerns. Lastly, the property owner currently provides security of the site; therefore, no impacts are anticipated from the proposed sale of beer and wine for on-site consumption.

ENVIRONMENTAL ANALYSIS

It has been determined that the project qualifies as a Class 1 Categorical Exemption per the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301 of the CEQA Guidelines for the use of an existing facility (refer to Attachment No. 4).

PUBLIC NOTICE

Public hearing notices for this item were mailed to the owners of those properties that are located within 300 feet of the subject property and published in the Arcadia Weekly on January 14, 2021. As of January 22, 2021, staff has not received any comments from the public.

RECOMMENDATION

It is recommended that the Planning Commission adopt Resolution No. 2070 and find that this project is Categorically Exempt under the California Environmental Quality Act (CEQA), and approve Conditional Use Permit No. CUP 19-17 subject to the following conditions of approval:

1. The business shall be maintained by the Applicant/Property Owner in a manner that is consistent with the plans submitted and conditionally approved for CUP 19-17, and shall be subject to periodic inspections. The approval is limited to only the sale of beer and wine for on-site consumption within the existing restaurant.
2. The business hours shall be limited to 11:30 AM to 12:00 AM, daily. Any changes to the hours of operations and/or the days, shall be subject to review and approval by the Planning & Community Development Administrator, unless significant modifications are proposed; in which case, the application may be referred to the Planning Commission. No late hours are permitted with this approval.
3. Alcoholic beverage service shall be limited to beer and wine (ABC Type 41 License) and shall only be served during the approved hours of operation. No sales, service, and on-site consumption of beer and wine is permitted outside of interior walls of this unit under this approval.
4. All City requirements regarding disabled access and facilities, occupancy limits, building safety, health code compliance, emergency equipment, environmental regulation compliance, and parking and site design shall be complied with to the satisfaction of the Building Official, City Engineer, Planning & Community Development Administrator, Fire Marshal, and Public Works Services Director. Any changes to the existing facility may be subject to having fully detailed plans submitted for plan check review and approval by the aforementioned City officials and employees, and may subject to building permits.

5. Noncompliance with the plans, provisions and conditions of approval for CUP 19-17 shall be grounds for immediate suspension or revocation of any approvals, which could result in the termination of alcohol sales.
6. The Applicant/Property Owner shall defend, indemnify, and hold harmless the City of Arcadia and its officials, officers, employees, and agents from and against any claim, action, or proceeding against the City of Arcadia, its officials, officers, employees or agents to attack, set aside, void, or annul any approval or conditional approval of the City of Arcadia concerning this project and/or land use decision, including but not limited to any approval or conditional approval of the City Council, Planning Commission, or City Staff, which action is brought within the time period provided for in Government Code Section 66499.37 or other provision of law applicable to this project or decision. The City shall promptly notify the applicant of any claim, action, or proceeding concerning the project and/or land use decision and the City shall cooperate fully in the defense of the matter. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officials, officers, employees, and agents in the defense of the matter.
7. Approval of CUP 19-17 shall not be of effect unless on or before 30 calendar days after Planning Commission adoption of the Resolution, the property owner and applicant have executed and filed with the Planning & Community Development Administrator or designee an Acceptance Form available from the Development Services Department to indicate awareness and acceptance of these conditions of approval.

PLANNING COMMISSION ACTION

Approval

If the Planning Commission intends to approve this proposal, the Commission should pass a motion to approve Conditional Use Permit No. CUP 19-17, stating that the proposal satisfies the requisite findings, and adopt the attached Resolution No. 2070 that incorporates the requisite environmental and Conditional Use Permit findings and the conditions of approval as presented in this staff report, or as modified by the Commission.

Denial

If the Planning Commission intends to deny this proposal, the Commission should pass a motion to deny Conditional Use Permit Application No. CUP 19-17; state the finding(s) that the proposal does not satisfy with reasons based on the record, and direct staff to prepare a resolution for adoption at the next meeting that incorporates the Commission's decision and specific findings.

If any Planning Commissioner, or other interested party has any questions or comments regarding this matter prior to the January 26, 2021, hearing, please contact Senior Planner, Luis Torrico at (626) 574-5442 or by email at ltorrico@arcadiaca.gov.

CUP 19-17
815 W. Naomi Avenue, Suite F
January 26, 2021
Page 8 of 8

Approved:



Lisa L. Flores
Planning & Community Development Administrator

- Attachment No. 1: Resolution No. 2070
- Attachment No. 2: Aerial Photo with Zoning Information & Photos of the Subject Property
- Attachment No. 3: Architectural Plans
- Attachment No. 4: Preliminary Exemption Assessment

Attachment No. 1

Resolution No. 2070

RESOLUTION NO. 2070

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ARCADIA, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. CUP 19-17 WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT ("CEQA") TO ALLOW THE SALE OF BEER AND WINE FOR ON-SITE CONSUMPTION WITHIN AN EXISTING FULL-SERVICE RESTAURANT AT 815 WEST NAOMI AVENUE, SUITE F

WHEREAS, on October 14, 2019, an application for Conditional Use Permit No. CUP 19-17 was filed by Young Min Chung, on behalf of MKZ Global Corp. ("Applicant"), to allow the sale of beer and wine for on-site consumption within an existing 1,550 square foot unit within an existing commercial shopping center located at 815 W. Naomi Avenue, Suite F ("Project"); and

WHEREAS, on December 21, 2020, Planning Services completed an environmental assessment for the Project in accordance with the California Environmental Quality Act ("CEQA") and determined that the Project is exempt under Section 15061(b)(3) of the CEQA Guidelines (Review for Exemption) because the Project has no potential to cause a significant effect on the environment, and qualifies as a Class 1 Categorical Exemption under Section 15301 of the CEQA Guidelines pertaining to the use of an existing facility; and

WHEREAS, on January 26, 2021, a duly noticed public hearing was held before the Planning Commission on said application, at which time all interested persons were given full opportunity to be heard and to present evidence.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF ARCADIA, CALIFORNIA, HEREBY RESOLVES AS FOLLOWS:

SECTION 1. The factual data submitted by the Community Development Division in the staff report dated January 26, 2021 are true and correct.

SECTION 2. This Commission finds that based upon the entire record, pursuant to Section 9107.09.050 of the Arcadia Development Code, all of the following findings can be made.

1. The proposed use is consistent with the General Plan and any applicable specific plan.

FACT: Approval of the Project is consistent with the Commercial Land Use Designation of the site. The Commercial designation is intended to permit a wide range of commercial uses, which serve both neighborhood and citywide markets. The existing restaurant, which will offer the sale of alcohol with an ABC Type 41 License (beer and wine only), will be incidental and complementary to the food service that is already provided within this restaurant, and be consistent with the other restaurants at this center that also serve alcoholic beverages. The Project will not adversely affect the comprehensive General Plan and is consistent with the following General Plan policy:

Land Use and Community Design Element

- Policy LU-6.7: Encourage a balanced distribution of commercial development throughout the City, ensuring that neighborhoods and districts have adequate access to local-serving commercial uses.

2. The proposed uses are allowed within the applicable zone, subject to the granting of a Conditional Use Permit, and comply with all other applicable provisions of the Development Code and the Municipal Code.

FACT: The zoning of the site is C-G, General Commercial. Arcadia Development Code Section 9102.03.020, Table 2-8, allows the sale of alcohol in conjunction with a restaurant with an approved CUP. The Project will be consistent with other restaurants in the C-G zone, and will be compatible with the surrounding businesses in the Arcadia Hub commercial center and general area. No additional parking, from what is existing, will be required as there is no change in use. Therefore, the Project will not impact the parking at the center, and will be compatible with all other applicable provisions of the Development Code and the Municipal Code.

3. The design, location, size, and operating characteristics of the proposed activity will be compatible with the existing and future land uses in the vicinity.

FACT: The existing restaurant is located within the Arcadia Hub commercial center with shared parking that adequately serves all the uses in the center. The Project will be ancillary to the primary restaurant use and will serve to augment the overall dining experience, which will be similar to other restaurants offering similar amenities in the center and general area. Alcohol sales will be limited to the restaurant's business hours, which consist of 11:30 AM to 12:00 AM, daily. Therefore, the Project will be compatible with the existing and future land uses in the vicinity.

4. The site is physically suitable in terms of:

a. Its design, location, shape, size, and operating characteristics of the proposed use in order to accommodate the use, and all fences, landscaping, loading, parking, spaces, walls, yards, and other features required to adjust the use with the land and uses in the neighborhood;

FACT: The existing restaurant will not be enlarged as part of the Project. The existing parking in the center is not anticipated to be impacted by the Project, and no site improvements are proposed or required; therefore, no impacts are anticipated to the neighboring uses or properties.

b. Streets and highways adequate in width and pavement type to accommodate public and emergency vehicle (e.g., fire and medical) access;

FACT: The subject site is located along W. Naomi Avenue with access to the center from Duarte Road and W. Naomi Avenue. These streets are adequate in width and pavement type to carry the traffic generated by the existing restaurant and uses in the center, any other use that may occupy the site, and any emergency services that may need to access the site. The Project will not impact these rights-of-way.

c. Public protection services (e.g., fire protection, police protection, etc.); and

FACT: The subject property is developed with existing multi-tenant commercial buildings that comply with current safety requirements. No improvements to the restaurant or the site are proposed as part of this request. The Project has been reviewed by the Fire and Police Departments and no concerns were raised by either of the departments. In addition, the Project will be subject to compliance with the State Department of Alcoholic Beverage Control; therefore, no impacts to public protection services are anticipated.

d. The provision of utilities (e.g., potable water, schools, solid waste collection and disposal, storm drainage, wastewater collection, treatment, and disposal, etc.).

FACT: The existing restaurant is located within an existing commercial center. The center is adequately served by the existing utilities. The Project does not include new construction that will impact the provision of utilities, nor will it be operated in a manner

that will impact the provision of utilities. Therefore, no impacts to the provision of utilities are anticipated.

5. The measure of site suitability shall be required to ensure that the type, density, and intensity of use being proposed will not adversely affect the public convenience, health, interest, safety, or general welfare, constitute a nuisance, or be materially injurious to the improvements, persons, property, or uses in the vicinity and zone in which the property is located.

FACT: The Project will be consistent with similar previously approved uses in the C-G zone. The sale and consumption of alcohol will be done in a manner that is safe for customers of the restaurant and will not adversely affect the public convenience, health, interest, safety, or general welfare of adjacent uses in the vicinity and zone of the subject site. The restaurant will also be required to comply with the California Department of Alcoholic Beverage Control (“ABC”) regulations. In addition, the Arcadia Police and Fire Departments have reviewed the application and did not have any concerns. Lastly, the property owner currently provides security of the site; therefore, no impacts are anticipated from the Project.

6. This Project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 of the CEQA Guidelines pertaining to the use of an existing facility.

SECTION 3. For the foregoing reasons the Planning Commission determines that the Project is Categorically Exempt per Class 1, Section 15301 of the California Environmental Quality Act (CEQA) Guidelines, and approves Conditional Use Permit No. CUP 19-17 to allow the Project, subject to the conditions of approval attached hereto.

SECTION 4. The Secretary shall certify to the adoption of this Resolution.

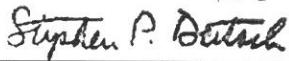
Passed, approved and adopted this 26th day of January, 2021.

Marilynne Wilander
Chair, Planning Commission

ATTEST:

Lisa L. Flores
Secretary

APPROVED AS TO FORM:



Stephen P. Deitsch
City Attorney

Page Intentionally Left Blank

RESOLUTION NO. 2070

Conditions of Approval

1. The business shall be maintained by the Applicant/Property Owner in a manner that is consistent with the plans submitted and conditionally approved for CUP 19-17, and shall be subject to periodic inspections. The approval is limited to only the sale of beer and wine for on-site consumption within the existing restaurant.
2. The business hours shall be limited to 11:30 AM to 12:00 AM, daily. Any changes to the hours of operations and/or the days, shall be subject to review and approval by the Planning & Community Development Administrator, unless significant modifications are proposed; in which case, the application may be referred to the Planning Commission. No late hours are permitted with this approval.
3. Alcoholic beverage service shall be limited to beer and wine (ABC Type 41 License) and shall only be served during the approved hours of operation. No sales, service, and on-site consumption of beer and wine is permitted outside of interior walls of this unit under this approval.
4. All City requirements regarding disabled access and facilities, occupancy limits, building safety, health code compliance, emergency equipment, environmental regulation compliance, and parking and site design shall be complied with to the satisfaction of the Building Official, City Engineer, Planning & Community Development Administrator, Fire Marshal, and Public Works Services Director. Any changes to the existing facility may be subject to having fully detailed plans submitted for plan check review and approval by the aforementioned City officials and employees, and may subject to building permits.
5. Noncompliance with the plans, provisions and conditions of approval for CUP 19-17 shall be grounds for immediate suspension or revocation of any approvals, which could result in the termination of alcohol sales.
6. The Applicant/Property Owner shall defend, indemnify, and hold harmless the City of Arcadia and its officials, officers, employees, and agents from and against any claim, action, or proceeding against the City of Arcadia, its officials, officers, employees or agents to attack, set aside, void, or annul any approval or conditional approval of the City of Arcadia concerning this project and/or land use decision, including but not limited to any approval or conditional approval of the City Council, Planning Commission, or City Staff, which action is brought within the time period provided for in Government Code Section 66499.37 or other provision of law applicable to this project or decision. The City shall promptly notify the applicant of any claim, action, or proceeding concerning the project and/or land use decision and the City shall cooperate fully in the defense of the matter. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officials, officers, employees, and agents in the defense of the matter.

7. Approval of CUP 19-17 shall not be of effect unless on or before 30 calendar days after Planning Commission adoption of the Resolution, the property owner and applicant have executed and filed with the Planning & Community Development Administrator or designee an Acceptance Form available from the Development Services Department to indicate awareness and acceptance of these conditions of approval.

Attachment No. 2

Aerial Photo with Zoning Information and
Photos of the Subject Site

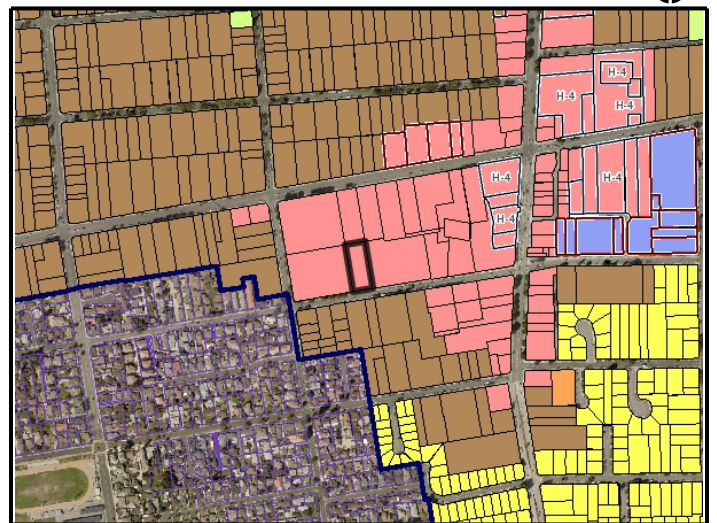
Site Address:

Property Owner(s): BALDWIN ARCADIA CENTER LP



Property Characteristics	
Zoning:	C-G
General Plan:	C
Lot Area (sq ft):	
Main Structure / Unit (sq. ft.):	20,172
Year Built:	1986
Number of Units:	0
Overlays	
Architectural Design Overlay:	N/A
Downtown Overlay:	N/A
Downtown Parking Overlay:	N/A
Parking Overlay:	N/A
Racetrack Event Overlay:	N/A
Residential Flex Overlay:	N/A
Special Height Overlay:	N/A

Selected parcel highlighted



Parcel location within City of Arcadia



Subject Unit – Kokumi California Shabu



Adjacent Commercial Units



Adjacent Commercial Units



Vons

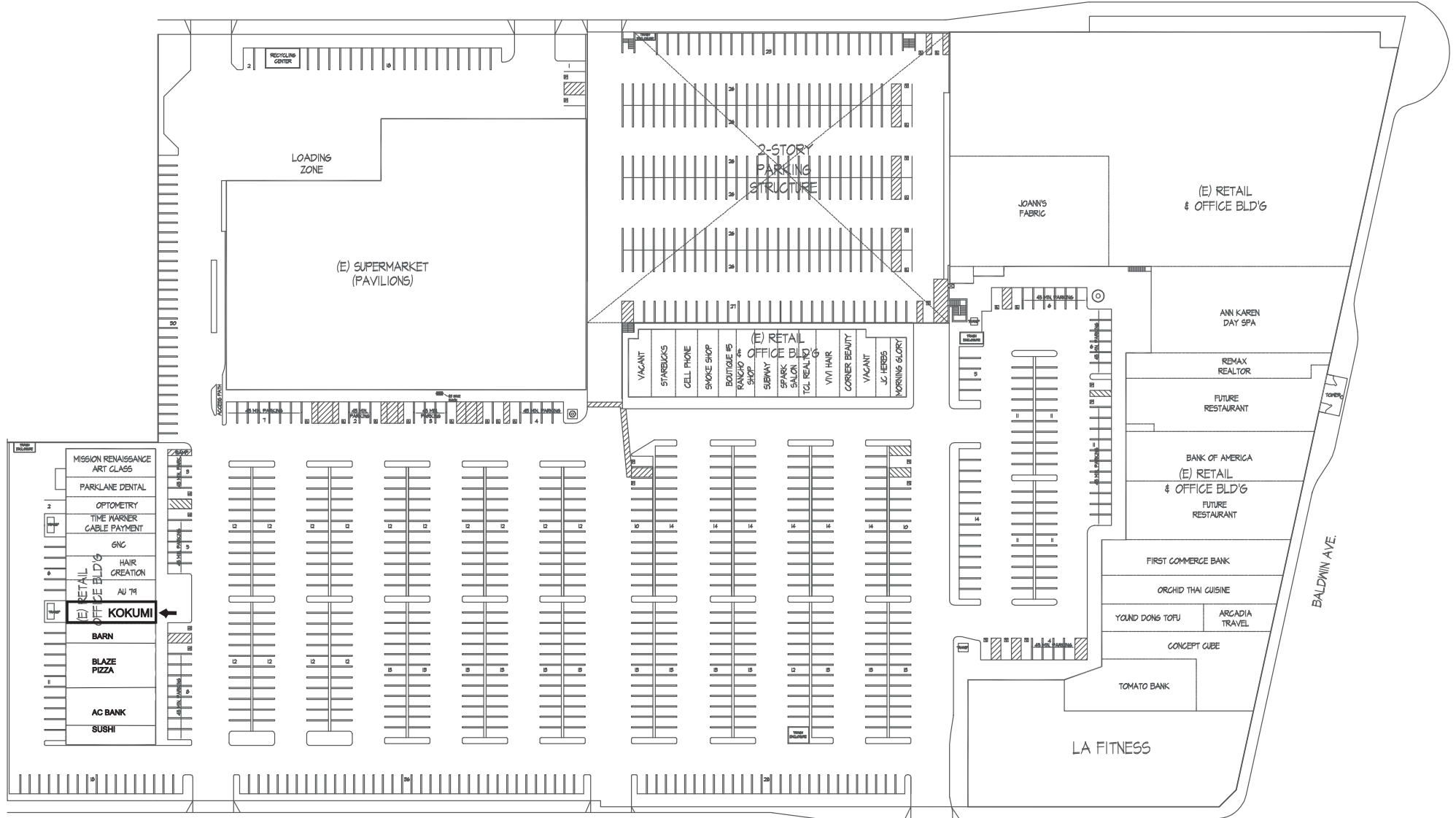


Center Parking Lot Across From Unit

Attachment No. 3

Site Plan and Floor Plan

DUARTE RD.



NAOMI AVE.

SITE PLAN
SCALE: 1"=40'-0"



Attachment No. 4

Preliminary Exemption Assessment



CITY OF
ARCADIA

PRELIMINARY EXEMPTION ASSESSMENT

1. Name or description of project:	A request to allow the sale of beer and wine for on-site consumption (Type 41) within the existing full-service restaurant (d.b.a. Kokumi California Shabu) with a Categorical Exemption under the California Environmental Quality Act ("CEQA")								
2. Project Location – Identify street address and cross streets or attach a map showing project site (preferably a USGS 15' or 7 1/2' topographical map identified by quadrangle name):	815 W. Naomi Avenue, Suite F (Naomi Avenue & S. Baldwin Avenue)								
3. Entity or person undertaking project:	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="padding: 2px;">A.</td> </tr> <tr> <td colspan="2" style="padding: 2px;">B. Other (Private)</td> </tr> <tr> <td style="width: 10%; padding: 2px;">(1) Name</td> <td style="padding: 2px;">Young Min Chung, on behalf of MKZ Global Corp</td> </tr> <tr> <td style="padding: 2px;">(2) Address</td> <td style="padding: 2px;">815 W. Naomi Ave., Suite F Arcadia, CA 91007</td> </tr> </table>	A.		B. Other (Private)		(1) Name	Young Min Chung, on behalf of MKZ Global Corp	(2) Address	815 W. Naomi Ave., Suite F Arcadia, CA 91007
A.									
B. Other (Private)									
(1) Name	Young Min Chung, on behalf of MKZ Global Corp								
(2) Address	815 W. Naomi Ave., Suite F Arcadia, CA 91007								
4. Staff Determination:	<p>The Lead Agency's Staff, having undertaken and completed a preliminary review of this project in accordance with the Lead Agency's "Local Guidelines for Implementing the California Environmental Quality Act (CEQA)" has concluded that this project does not require further environmental assessment because:</p>								
a. <input type="checkbox"/>	The proposed action does not constitute a project under CEQA.								
b. <input type="checkbox"/>	The project is a Ministerial Project.								
c. <input type="checkbox"/>	The project is an Emergency Project.								
d. <input type="checkbox"/>	The project constitutes a feasibility or planning study.								
e. <input checked="" type="checkbox"/>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="padding: 2px;">The project is categorically exempt.</td> </tr> <tr> <td style="width: 40%; padding: 2px;">Applicable Exemption Class:</td> <td style="padding: 2px;">15301(a) – Class 1 (Use of an existing facility)</td> </tr> </table>	The project is categorically exempt.		Applicable Exemption Class:	15301(a) – Class 1 (Use of an existing facility)				
The project is categorically exempt.									
Applicable Exemption Class:	15301(a) – Class 1 (Use of an existing facility)								
f. <input type="checkbox"/>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="padding: 2px;">The project is statutorily exempt.</td> </tr> <tr> <td style="width: 40%; padding: 2px;">Applicable Exemption:</td> <td style="padding: 2px;"></td> </tr> </table>	The project is statutorily exempt.		Applicable Exemption:					
The project is statutorily exempt.									
Applicable Exemption:									
g. <input type="checkbox"/>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="padding: 2px;">The project is otherwise exempt on the following basis:</td> </tr> <tr> <td style="width: 40%; padding: 2px;"></td> <td style="padding: 2px;"></td> </tr> </table>	The project is otherwise exempt on the following basis:							
The project is otherwise exempt on the following basis:									
h. <input type="checkbox"/>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="padding: 2px;">The project involves another public agency, which constitutes the Lead Agency.</td> </tr> <tr> <td style="width: 40%; padding: 2px;">Name of Lead Agency:</td> <td style="padding: 2px;"></td> </tr> </table>	The project involves another public agency, which constitutes the Lead Agency.		Name of Lead Agency:					
The project involves another public agency, which constitutes the Lead Agency.									
Name of Lead Agency:									

Date: January 26, 2021

Staff: Luis Torrico, Senior Planner



STAFF REPORT

Development Services Department

DATE: January 26, 2021

TO: Honorable Chairman and Planning Commission

FROM: Lisa L. Flores, Planning & Community Development Administrator
By: Luis Torrico, Senior Planner

SUBJECT: APPROVING MULTIPLE FAMILY ARCHITECTURAL DESIGN REVIEW NO. MFADR 19-04 AND TENTATIVE PARCEL MAP NO. TPM 20-03 (83113), WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) FOR A THREE-UNIT, MULTI-FAMILY RESIDENTIAL CONDOMINIUM DEVELOPMENT AT 147 ALICE STREET
Recommendation: Adopt Resolution No. 2071

SUMMARY

The Applicant, Tom Li of Prestige Design, Planning & Development, on behalf of the property owner, Soliel Homes Inc, is requesting approval of Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 (83113), for a new three (3) unit, three-story, multi-family residential condominium development at 147 Alice Street. The proposed development and subdivision are consistent with the City's General Plan, Development Code, and Subdivision Code. As an infill development project, the proposed development qualifies for a Categorical Exemption under the California Environmental Quality Act ("CEQA"). It is recommended that the Planning Commission approve MFADR 19-04 and TPM 20-03 (83113) subject to the conditions listed in this staff report, and adopt Resolution No. 2071 – refer to Attachment No. 1.

BACKGROUND

The subject property is a 7,500 square foot interior lot, located on the north side of Alice Street, between 1st and 2nd Avenues. The property is zoned R-3, High Density Multiple Family Residential with a General Plan Land Use Designation of High Density Residential. The property is surrounded by other R-3 zoned properties to the north, south, east, and to the west. The project site is improved with three units - one single-family dwelling and one

duplex, and one carport with three parking spaces that were built in 1950 – refer to Attachment No. 2 for an Aerial photo with Zoning Information and Photos of the Subject Property.

A Certificate of Demolition (COD) for the subject property was approved on March 2, 2020, however the structures have not yet been demolished due to the City’s replacement policy for residential projects that the owners cannot demolish the structures until a project has been approved. Based on the evaluation by an Architectural Historian, the property does not meet any of the minimum requirements for designation as a historical resource under federal, state and local criteria. The residence is not a good example of a particular architectural style and is not representative of or associated with any important historical events or people.

PROPOSAL

The applicant is requesting to demolish all the existing structures on the property to construct a new three unit, three-story, multi-family residential condominium development with surface parking – refer to Attachment No. 3 for the Tentative Parcel Map and Attachment No. 4 for the proposed Architectural Plans. The project will be of Spanish architectural style, which will be compatible with the existing multi-family developments in the neighborhood, which include a variety of architectural styles including two Spanish style developments adjacent to the subject site. The front unit will consist of three (3) bedrooms and the rear two units will consist of four (4) bedrooms. Each unit will vary between 1,629 to 2,090 square feet in floor area. The front unit will have direct access from Alice Street and the remaining two (2) units will have a pedestrian walkway along the north side of the property (see Figure 1).

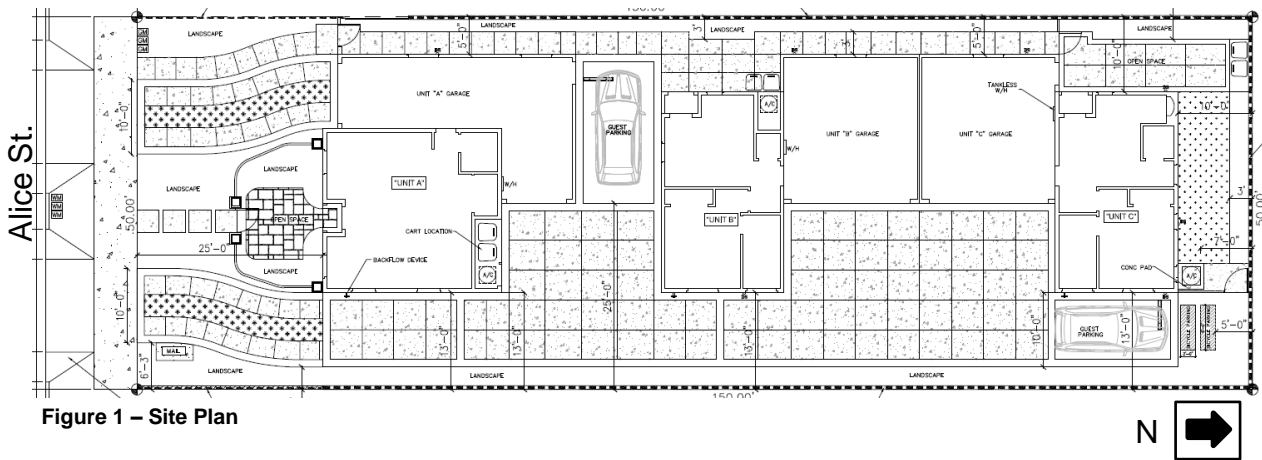


Figure 1 – Site Plan

The proposed development will have an overall ridge height of 32’-7”, whereas a maximum of 30’-0” is allowed, unless it is a pitched roof then the structure can extend up to three (3) feet above the maximum height limit. Therefore, the proposed development will comply with the height requirement. The building provides the minimum front yard setback of 25’-0” as well as all the other minimum setbacks required in the R-3 zone, for lots that are 65’ in width of less. Each unit requires a minimum of 100 square feet of open space, which will be provided through rooftop patios located on the third floor, for units A & B, and an at-grade patio for unit C.

The front unit will have two oversized one-car garages with separate access. One garage is approximately 9'-6" x 21'-6", and the second one is approximately 9'-6" x 19'-0". Given the property's narrow lot width of 50 feet, the rear units will each have a two-car garage at the minimum dimensions of 18'-0" x 19'-0". Two (2) open guest spaces will be provided to comply with Code. The garages for all the units and guest spaces will be accessed from Alice Street. Additionally, there will be two (2) bicycle parking spaces provided toward the rear of the property. Based on the number of parking spaces provided, the project meets the required parking per the Development Code.

ANALYSIS

The R-3 zone requires a minimum density of one dwelling unit per 2,200 square feet of lot area, and a maximum density of one unit per 1,450 square feet of lot area. This calculates to a minimum density of three (3) units and a maximum of five (5) units. If a lot has a lot width that is 50 feet or less such as this one, it may be developed with less than the required minimum density, but not less than two (2) dwelling units. The Code requires two (2) covered spaces per unit and one (1) guest space for every two (2) units. Parking for the project will be provided through at-grade garages for each unit, and two (2) open guest spaces. The project will also provide two (2) bicycle racks located at the rear of the property. Therefore, the proposed development will comply with the parking requirements of the R-3 Zone. Lastly, the project will comply with the adjacent development standards of the R-3 Zone, including, but not limited to setbacks, height and open space.

The proposed development will be the first three-story development on this street. As previously mentioned, the code allows a maximum height of 30'-0", unless it's a pitched roof then the structure can extend up to three (3) feet above the maximum height limit. The project will have an overall building height of 32'-7". However, it will not be out of character with the new development since a two-story condominium at 141-145 Alice Street, west and next door to the subject site, was approved at 29'-0" in height. To mitigate the overall bulk and mass and to ensure the new development will blend with other development within this neighborhood, the third floor was stepped back approximately 16 feet from the first and second levels (see Figure 3). Therefore, while this will be the first three-story development on the street, it will be compatible with the other multi-family developments in the area since the front unit will only be two-story tall.

Concurrent with the subdivision application, the Planning Commission must approve, conditionally approve, or deny the architectural design of the proposed project. The project is designed in a Spanish architectural style (refer to Attachment No. 4) with a stucco exterior finish. The roof consists of concrete "S" tile roofing material and moldings along the eaves (see Figures 2 & 3). Additional architectural features will include, but not limited to, decorative window trim, wrought iron railings/features, fabric window awnings, and various building projections, which provide roof breaks with multiple rooflines. The proposed Spanish style development will be compatible with other contemporary style existing multi-family developments along Alice Street, including recently completed multi-family developments on adjoining lots, as the massing and scale of this project is consistent with others found in the surrounding neighborhood. The project will also provide landscaping throughout the property, with an emphasis along the front yard and the side

yards to offer additional screening and privacy for the adjacent multi-family residences on both sides.



Figure 2. Proposed front elevation



Figure 3. Proposed side elevations

FINDINGS

Tentative Parcel Map

The proposal to subdivide the airspace for three (3) residential condominium units requires a subdivision through the Tentative Parcel Map process – see Attachment No. 3 for

Tentative Parcel Map No. TPM 20-03 (83113). The proposed subdivision complies with the subdivision regulations of the Arcadia Municipal Code and the Subdivision Map Act, and will not violate any requirements of the California Regional Water Quality Control Board. The following findings are required for approval of a Tentative Parcel Map:

A. The proposed map, subdivision design, and improvements are consistent with the General Plan, any applicable specific plan, and the Subdivisions Division of the Development Code.

Facts in Support of the Finding: The proposed tentative parcel map for a three-unit multi-family residential condominium development and subdivision of the airspace has been reviewed for compliance with the City's General Plan, Development Code, and the State Subdivision Map Act. It has been determined that the proposed subdivision is consistent with the General Plan High Density Residential Land Use designation and the R-3, High Density Multiple Family Residential zoning designation. These designations are intended to accommodate high density, attached or detached residential units such as condominiums, within the appropriate neighborhoods. The proposed tentative parcel map complies with the Subdivision Map Act regulations and there is no specific plan applicable to this project. The project will not adversely affect the comprehensive General Plan and is consistent with the following General Plan goals and policies:

Land Use and Community Design Element

- Policy LU-1.1: Promote new infill and redevelopment projects that are consistent with the City's land use and compatible with surrounding existing uses.
- Policy LU-4.1: Require that new multi-family residential development be visually and functionally integrated and consistent in scale, mass, and character with structures in the surrounding neighborhood.

B. The site is physically suitable for the type and proposed density of development.

Facts in Support of the Finding: The project site is physically suitable for the proposed multi-family residential development. The R-3 zone requires a minimum density of one dwelling unit per 2,200 square feet of lot area, and a maximum density of one unit per 1,450 square feet of lot area. This calculates to a minimum density of three (3) units and a maximum of five (5) units. Therefore, the proposed three-unit development complies with the density requirements of the underlying zone as well as all other applicable zoning requirements including but not limited to parking, setbacks, height, and open space.

C. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

Facts in Support of the Finding: The proposed tentative parcel map for three (3) multi-family residential condominium units is a subdivision of an infill site within an urbanized area and does not serve as a habitat for endangered or rare species. The project will not cause substantial environmental damage or impact wildlife.

D. The design of the subdivision or type of improvements is not likely to cause serious public health or safety problems.

Facts in Support of the Finding: The proposed subdivision will construct three (3) multi-family residential units in compliance with all applicable Building and Fire Codes to ensure public health and safety. The project will maintain a density that is allowed in the R-3 zone and the proposed development will not cause any public health or safety problems.

E. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of, property within the proposed subdivision (This finding shall apply only to easements of record or to easements established by judgement of a court of competent jurisdiction and no authority is hereby granted to a legislative body to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision).

Facts in Support of the Finding: The proposed design of the subdivision does not conflict with easements acquired by the public at large for access through or use of, property within the proposed subdivision. There are no known easements on the subject property.

F. The discharge of sewage from the proposed subdivision into the community sewer system will not result in violation of existing requirements specified by the California Regional Water Quality Control Board.

Facts in Support of the Finding: The Arcadia Public Works Services Department determined that the City's existing infrastructure will adequately serve the new development, and the requirements of the California Regional Water Quality Control Board will be satisfied.

G. The design of the subdivision provides, to the extent feasible, passive or natural heating and cooling opportunities.

Facts in Support of the Finding: The proposed tentative parcel map and three-unit multi-family condominium development have been reviewed by Building Services to ensure compliance with the California Building Code, which includes requirements associated with heating and cooling requirements.

H. The proposed subdivision, its design, density, and type of development and improvements conforms to the regulations of the City’s Development Code and the regulations of any public agency having jurisdiction by law.

Facts in Support of the Finding: The proposed subdivision as conditioned, complies with the density requirements of the City’s Development Code, and all the improvements required for the site and each unit will comply with the regulations in the City’s Development Code.

Architectural Design Review

The proposed development is located in the R-3 zone (High Density Multiple Family Residential), which is intended to provide high density residential development. The proposed design of the three-unit condominium project is compatible with existing multi-family developments in the surrounding neighborhood in terms of massing and scale. While this development will be the first three-story development on this street, stepping the third floor from the street level by an additional 16 feet will help reduce the overall bulk and mass of the building, and the change in height will help transition with the other existing multi-family developments. The proposed development will also be similar in height to the 29-foot tall multi-family condominium development approved west and next door to the subject site. The proposed Spanish style architecture will be consistent with other Spanish influenced styles of architecture that exist along Alice Street, including the two recently completed adjacent multi-family developments. In addition, the proposed design is consistent with the City’s Multifamily Residential Design Guidelines.

All City requirements regarding disabled access and facilities, occupancy limits, building safety, health code compliance, emergency equipment, environmental regulation compliance, and parking and site design shall be complied with by the property owner/applicant to the satisfaction of the Building Official, City Engineer, Planning & Community Development Administrator, Fire Marshal, and Public Works Services Director, or their respective designees.

ENVIRONMENTAL ASSESSMENT

It has been determined that the project site is less than five (5) acres; the project site has no value as a habitat for endangered, rare or threatened species; the proposed project will not have any significant effects upon the environment, and the site can be adequately served by all the required utilities and public services. Therefore, the project is exempt under Class 32 (In-Fill Development Projects) pursuant to Section 15332 of the State California Environmental Quality Act (CEQA) Guidelines. Refer to Attachment No. 5 for the Preliminary Exemption Assessment.

PUBLIC NOTICE/COMMENTS

Public hearing notices for this item were mailed to the owners of those properties that are located within 300 feet of the subject property and published in the Arcadia Weekly on

January 14, 2021. As of January 22, 2021, staff has not received any comments from the public.

On January 11, 2021, the Applicant sent each tenant a notice informing them of the proposed project. The notice was sent through Certified Mail.

RECOMMENDATION

It is recommended that the Planning Commission approve Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 (83113), subject to the following conditions, find that the project is Categorically Exempt from the California Environmental Quality Act (CEQA), and adopt Resolution No. 2071, subject to the following conditions of approval:

1. All the windows shall be recessed a minimum of two (2) inches from the building walls. A construction detail indicating the 2-inch recess shall be included on the plans submitted to the Building Division for plan check.
2. Any required mechanical equipment, such as backflow devices, visible from the public right-of-way shall be screened from public view. Screening may include landscaping, solid walls or other methods deemed appropriate for the development. The placement and height of said screening shall subject to review and approval by the Planning & Community Development Administrator, or designee.
3. The project shall be developed and maintained by the Applicant/Property Owner in a manner that is consistent with the plans submitted and conditionally approved for MFADR 19-04 and TPM 20-03 (83113) subject to the approval of the Planning & Community Development Administrator, or designee.
4. The project shall comply with the latest adopted edition of the following codes as applicable:
 - a. California Building Code
 - b. California Electrical Code
 - c. California Mechanical Code
 - d. California Plumbing Code
 - e. California Energy Code
 - f. California Fire Code
 - g. California Green Building Standards Code
 - h. California Existing Building Code
5. All utility conductors, cables, conduits and wiring supplying electrical, cable and telephone service to a multiple family building shall be installed underground except risers which are adjacent to and attached to a building.
6. Grading plans shall be submitted to, and approved by the Building Services Division. The grading plans shall indicate all on- and off-site improvements, and shall indicate complete drainage paths of all drainage water run-off.

7. A building permit shall be obtained prior to the removal and/or demolition of structures.
8. Prior to approval of the Final Parcel Map, the Applicant/Property Owner shall:
 - a) Remove and replace existing curb and gutter from property line to property line.
 - b) Construct sidewalk from property line to property line.
 - c) Install new driveway approaches (minimum 12' wide) per City's Standard Plan. Install transitions to the driveways just inside the property lines to transition from the 12.5' to the 10' wide driveway approaches.
 - d) Repair asphalt street damages caused by the development, as necessary.
9. The Applicant/Property Owner shall coordinate with Public Works Services Department for the installation of new street trees per the City's Street Tree Master Plan.
10. All structures shall be provided with an automatic fire sprinkler system per the City of Arcadia Fire Department's Multi-Family Dwelling Sprinkler Standard.
11. There is a 6-inch cast iron water main with 72 psi static pressure that the development shall connect to on Alice Street for domestic water and/or fire services. The Applicant/Property Owner shall provide calculations to the Public Works Services Department to determine the total combined maximum domestic and fire demand, and verify the water service size required.
12. The Applicant/Property Owner shall install separate water meter for each condominium unit. The water meter for each unit can be used to supply both domestic water services and fire services. The Applicant/Property Owner shall separate the fire service from domestic water service with an approved back flow device.
13. All condominiums shall require a separate water service and meter for common area landscape irrigation.
14. A Water Meter Permit Application shall be submitted to the Public Works Services Department prior to issuance of a building permit for the new development.
15. New water service installations shall be by the Applicant/Property Owner. Installation shall be according to the specifications of the Public Works Services Department, Engineering Section. Abandonment of existing water services, if necessary, shall be carried out by the Applicant/Property, according to Public Works Services Department.
16. An 8" Vitrified Clay Pipe (VCP) City sewer line is available on Alice Street to provide sanitary sewer service for the project. The Applicant/Property Owner shall utilize existing sewer lateral if possible.

17. If any drainage fixture elevation is lower than the elevation of the next upstream manhole cover (444.97'), an approved type of backwater valve is required to be installed on the lateral within the City's right-of-way.
18. The proposed project shall be subject to low impact development (LID) requirements. These requirements include but are not limited to using infiltration trenches, bio-retention planter boxes, roof drains connected to a landscaped area, pervious concrete/paver, etc.
19. The Applicant/Property Owner shall provide, and accommodate for, a total of three trash containers for trash, recycling and green waste for each unit, to the satisfaction of the Public Works Services Director, or designee.
20. The Applicant/Property Owner shall comply with all City requirements regarding building safety, fire prevention, detection, suppression, emergency access, public right-of-way improvements, parking, water supply and water facilities, sewer facilities, trash reduction and recycling requirements, and National Pollutant Discharge Elimination System (NPDES) measures to the satisfaction of the Building Official, Fire Marshal, Public Works Services Director, and Planning & Community Development Administrator. Compliance with these requirements is to be determined by having fully detailed construction plans submitted for plan check review and approval by the foregoing City officials and employees.
21. The Applicant/Property Owner shall defend, indemnify, and hold harmless the City of Arcadia and its officials, officers, employees, and agents from and against any claim, action, or proceeding against the City of Arcadia, its officials, officers, employees or agents to attack, set aside, void, or annul any approval or conditional approval of the City of Arcadia concerning this project and/or land use decision, including but not limited to any approval or conditional approval of the City Council, Planning Commission, or City Staff, which action is brought within the time period provided for in Government Code Section 66499.37 or other provision of law applicable to this project or decision. The City shall promptly notify the applicant of any claim, action, or proceeding concerning the project and/or land use decision and the City shall cooperate fully in the defense of the matter. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officials, officers, employees, and agents in the defense of the matter.
22. Approval of MFADR 19-04 and TPM 20-03 (83113) shall not be in effect unless the Property Owner and Applicant have executed and filed the Acceptance Form with the City on or before 30 calendar days after the Planning Commission has adopted the Resolution. The executed Acceptance Form submitted to the Development Services Department is to indicate awareness and acceptance of the conditions of approval.

PLANNING COMMISSION ACTION

Approval

If the Planning Commission intends to approve this project, the Commission should move to approve Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 (83113), state that the proposal satisfies the requisite findings, and adopt the attached Resolution No. 2071 that incorporates the requisite environmental and subdivision findings, and the conditions of approval as presented in this staff report, or as modified by the Commission.

Denial

If the Planning Commission is to deny this project, the Commission should state the specific findings that the proposal does not satisfy based on the evidence presented with specific reasons for denial, and move to deny Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 (83113) and direct staff to prepare a resolution for adoption at the next meeting that incorporates the Commission’s decision and specific findings.

If any Planning Commissioner, or other interested party has any questions or comments regarding this matter prior to the January 26, 2021, Planning Commission Meeting, please contact Senior Planner, Luis Torrico at (626) 574-5442, or ltorrico@ArcadiaCA.gov.

Approved:



Lisa L. Flores
Planning & Community Development Administrator

- Attachment No. 1: Resolution No. 2071
- Attachment No. 2: Aerial Photo with Zoning Information and Photos of the Subject Property and Vicinity
- Attachment No. 3: Tentative Parcel Map No. TPM 20-03 (83113)
- Attachment No. 4: Architectural Plans
- Attachment No. 5: Preliminary Exemption Assessment

Attachment No. 1

Resolution No. 2071

RESOLUTION NO. 2071

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ARCADIA, CALIFORNIA, APPROVING MULTIPLE FAMILY ARCHITECTURAL DESIGN REVIEW NO. MFADR 19-04 AND TENTATIVE PARCEL MAP NO. TPM 20-03 WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT ("CEQA") FOR A THREE-UNIT MULTI-FAMILY RESIDENTIAL CONDOMINIUM DEVELOPMENT LOCATED AT 147 ALICE STREET

WHEREAS, on October 19, 2019, Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 applications, collectively referred to as the "Project," were filed by Tom Li of Prestige Design, Planning & Development, on behalf of the property owner, Soliel Homes Inc, for a three-unit multi-family residential condominium development which requires subdivision of the airspace located at 147 Alice Street; and

WHEREAS, on December 28, 2020, Planning Services completed an environmental assessment for the Project in accordance with the California Environmental Quality Act ("CEQA") and recommended that the Planning Commission determine the Project is exempt under Section 15332 of the CEQA Guidelines (Review for Exemption) because the Project is considered an infill-development project; and

WHEREAS, on January 26, 2021, a duly noticed public hearing was held before the Planning Commission on said application, at which time all interested persons were given full opportunity to be heard and to present evidence.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF ARCADIA, CALIFORNIA, HEREBY RESOLVES AS FOLLOWS:

SECTION 1. The factual data submitted by the Community Development Division in the staff report dated January 26, 2021 are true and correct.

SECTION 2. This Commission finds, based upon the entire record:

A. The proposed map, subdivision design, and improvements are consistent with the General Plan, any applicable specific plan, and the Subdivisions Division of the Development Code:

FACT: The Project has been reviewed for compliance with the City's General Plan, Development Code, and the State Subdivision Map Act. It has been determined that the Project is consistent with the General Plan High Density Residential Land Use designation and the R-3, High Density Multiple Family Residential zoning designation. These designations are intended to accommodate high density, attached or detached residential units such as condominiums, within the appropriate neighborhoods. The proposed tentative parcel map complies with the Subdivision Map Act regulations and there is no specific plan applicable to this Project. The Project will not adversely affect the comprehensive General Plan and is consistent with the following General Plan goals and policies:

Land Use and Community Design Element

- Policy LU-1.1: Promote new infill and redevelopment projects that are consistent with the City's land use and compatible with surrounding existing uses.
- Policy LU-4.1: Require that new multi-family residential development be visually and functionally integrated and consistent in scale, mass, and character with structures in the surrounding neighborhood.

B. The site is physically suitable for the type and proposed density of development:

FACT: The project site is physically suitable for the proposed multi-family residential development. The R-3 zone requires a minimum density of one dwelling unit per 2,200 square feet of lot area, and a maximum density of one unit per 1,450 square feet of lot area. This calculates to a minimum density of three (3) units and a maximum of five (5) units. Therefore, the Project complies with the density requirements of the underlying zone as well as all other applicable zoning requirements including but not limited to parking, setbacks, height, and open space.

C. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat:

FACT: The Project is a subdivision of an infill site within an urbanized area and does not serve as a habitat for endangered or rare species. The Project will not cause substantial environmental damage or impact wildlife.

D. The design of the subdivision or type of improvements is not likely to cause serious public health or safety problems:

FACT: The proposed subdivision will include three (3) multi-family residential units in compliance with all applicable Building and Fire Codes to ensure public health and safety. The Project will maintain a density that is allowed in the R-3 zone and the proposed development will not cause any public health or safety problems.

E. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of, property within the proposed subdivision (This finding shall apply only to easements of record or to easements established by judgement of a court of competent jurisdiction and no authority is hereby

granted to a legislative body to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision):

FACT: The proposed design of the subdivision does not conflict with easements acquired by the public at large for access through or use of, property within the proposed subdivision. There are no known easements on the subject property.

F. The discharge of sewage from the proposed subdivision into the community sewer system will not result in violation of existing requirements specified by the California Regional Water Quality Control Board:

FACT: The Arcadia Public Works Services Department determined that the City's existing infrastructure will adequately serve the new development, and the requirements of the California Regional Water Quality Control Board will be satisfied.

G. The design of the subdivision provides, to the extent feasible, passive or natural heating and cooling opportunities:

FACT: The Project has been reviewed by Building Services to ensure compliance with the California Building Code, which includes requirements associated with heating and cooling requirements.

H. The proposed subdivision, its design, density, and type of development and improvements conforms to the regulation of the Development Code and the regulations of any public agency having jurisdiction by law:

FACT: The proposed subdivision as conditioned, complies with the density requirements of the City's Development Code, and all the improvements required for the site and each unit will comply with the regulations in the City's Development Code.

I. The proposal is consistent with the City's Multifamily Residential Design Guidelines:

FACT: The Project is located in the R-3 zone (High Density Multiple Family Residential), which is intended to provide high density residential development. The proposed design of the three-unit condominium project is compatible with existing multi-family developments in the surrounding neighborhood in terms of massing and scale. While the Project will be the first three-story development on this street, stepping the third floor from the street level by an additional 16 feet will help reduce the overall bulk and mass of the building, and the change in height will help transition with the other existing multi-family developments. The Project will also be similar in height to the 29-foot tall multi-family condominium development approved west and next door to the subject site. The proposed Spanish style architecture will be consistent with other Spanish influenced styles of architecture that exist along Alice Street, including the two recently completed adjacent multi-family developments. In addition, the proposed design is consistent with the City's Multifamily Residential Design Guidelines.

SECTION 3. Pursuant to the provisions of the California Environmental Quality Act ("CEQA"), this Project is a Class 32 Categorical Exemption as an infill-development project per Section 15332 of the CEQA Guidelines.

SECTION 4. For the foregoing reasons the Planning Commission determines that the Project is Categorically Exempt under the California Environmental Quality Act ("CEQA") Section 15332, Class 32, and approves Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 (83113) for a three-

unit multi-family residential condominium development at 147 Alice Street, subject to the conditions of approval attached hereto.

SECTION 5. The Secretary shall certify to the adoption of this Resolution.

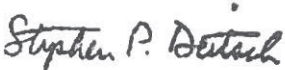
Passed, approved and adopted this 26th day of January, 2021.

Marilynne Wilander
Chair, Planning Commission

ATTEST:

Lisa L. Flores
Secretary

APPROVED AS TO FORM:



Stephen P. Deitsch
City Attorney

Page Intentionally Left Blank

RESOLUTION NO. 2071

Conditions of Approval

1. All the windows shall be recessed a minimum of two (2) inches from the building wall. A construction detail indicating the 2-inch recess shall be included on the plans submitted to the Building Division for plan check.
2. Any required mechanical equipment, such as backflow devices, visible from the public right-of-way shall be screened from public view. Screening may include landscaping, solid walls or other methods deemed appropriate for the development. The placement and height of said screening shall subject to review and approval by the Planning & Community Development Administrator, or designee.
3. The project shall be developed and maintained by the Applicant/Property Owner in a manner that is consistent with the plans submitted and conditionally approved for MFADR 19-04 and TPM 20-03 (83113) subject to the approval of the Planning & Community Development Administrator, or designee.
4. The project shall comply with the latest adopted edition of the following codes as applicable:
 - a. California Building Code
 - b. California Electrical Code
 - c. California Mechanical Code
 - d. California Plumbing Code
 - e. California Energy Code
 - f. California Fire Code
 - g. California Green Building Standards Code
 - h. California Existing Building Code
5. All utility conductors, cables, conduits and wiring supplying electrical, cable and telephone service to a multiple family building shall be installed underground except risers which are adjacent to and attached to a building.
6. Grading plans shall be submitted to, and approved by the Building Services Division. The grading plans shall indicate all on- and off-site improvements, and shall indicate complete drainage paths of all drainage water run-off.
7. A building permit shall be obtained prior to the removal and/or demolition of the structures.
8. Prior to approval of the Final Parcel Map, the Applicant/Property Owner shall:

- a. Remove and replace existing curb and gutter from property line to property line.
 - b. Construct sidewalk from property line to property line.
 - c. Install new driveway approaches (minimum 12' wide) per City's Standard Plan. Install transitions to the driveways just inside the property lines to transition from the 12.5' to the 10' wide driveway approaches.
 - d. Repair asphalt street damages caused by the development, as necessary.
9. The Applicant/Property Owner shall install, after coordinating with Public Works Services Department new street trees per the City's Street Tree Master Plan.
 10. All structures shall be provided with an automatic fire sprinkler system per the City of Arcadia Fire Department's Multi-Family Dwelling Sprinkler Standard.
 11. There is a 6" cast iron water main with 72 psi static pressure that the development shall connect to on Alice Street for domestic water and/or fire services. The Applicant/Property Owner shall provide calculations to the Public Works Services Department to determine the total combined maximum domestic and fire demand, and verify the water service size required.
 12. The Applicant/Property Owner shall install separate water meters for each condominium unit. The water meter for each unit can be used to supply both domestic water services and fire services. The Applicant/Property Owner shall separate the fire service from domestic water service with an approved back flow device.
 13. All condominiums shall require a separate water service and meter for common area landscape irrigation.
 14. A Water Meter Permit Application shall be submitted to the Public Works Services Department prior to issuance of a building permit for the new development.
 15. New water service installations shall be by the Applicant/Property Owner. Installation shall be according to the specifications of the Public Works Services Department, Engineering Section. Abandonment of existing water services, if necessary, shall be carried out by the Applicant/Property Owner, according to Public Works Services Department, Engineering Division specifications.
 16. An 8" vitrified clay pipe (VCP) City sewer line is available on Alice Street to provide sanitary sewer service for the project. The Applicant/Property Owner shall utilize existing sewer lateral if possible
 17. If any drainage fixture elevation is lower than the elevation of the next upstream manhole cover (444.97'), an approved type of backwater valve is required to be installed on the lateral in the right of way.

18. The proposed project shall be subject to low impact development (LID) requirements. These requirements include but are not limited to using infiltration trenches, bio-retention planter boxes, roof drains connected to a landscaped area, pervious concrete/paver, etc.
19. The Applicant/Property Owner shall provide, and accommodate for, a total of three trash containers for trash, recycling and green waste for each unit, to the satisfaction of the Public Works Services Director, or designee.
20. The Applicant/Property Owner shall comply with all City requirements regarding building safety, fire prevention, detection, suppression, emergency access, public right-of-way improvements, parking, water supply and water facilities, sewer facilities, trash reduction and recycling requirements, and National Pollutant Discharge Elimination System (NPDES) measures to the satisfaction of the Building Official, Fire Marshal, Public Works Services Director, and Planning & Community Development Administrator. Compliance with these requirements is to be determined by having fully detailed construction plans submitted for plan check review and approval by the foregoing City officials and employees.
21. The Applicant/Property Owner shall defend, indemnify, and hold harmless the City of Arcadia and its officials, officers, employees, and agents from and against any claim, action, or proceeding against the City of Arcadia, its officials, officers, employees or agents to attack, set aside, void, or annul any approval or conditional approval of the City of Arcadia concerning this project and/or land use decision, including but not limited to any approval or conditional approval of the City Council, Planning Commission, or City Staff, which action is brought within the time period provided for in Government Code Section 66499.37 or other provision of law applicable to this project or decision. The City shall promptly notify the applicant of any claim, action, or proceeding concerning the project and/or land use decision and the City shall cooperate fully in the defense of the matter. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officials, officers, employees, and agents in the defense of the matter.
22. Approval of MFADR 19-04 and TPM 20-03 (83113) shall not be in effect unless the Property Owner and Applicant have executed and filed the Acceptance Form with the City on or before 30 calendar days after the Planning Commission has adopted the Resolution. The executed Acceptance Form submitted to the Development Services Department is to indicate awareness and acceptance of the conditions of approval.

Attachment No. 2

Aerial Photo with Zoning Information and
Photos of the Subject Site

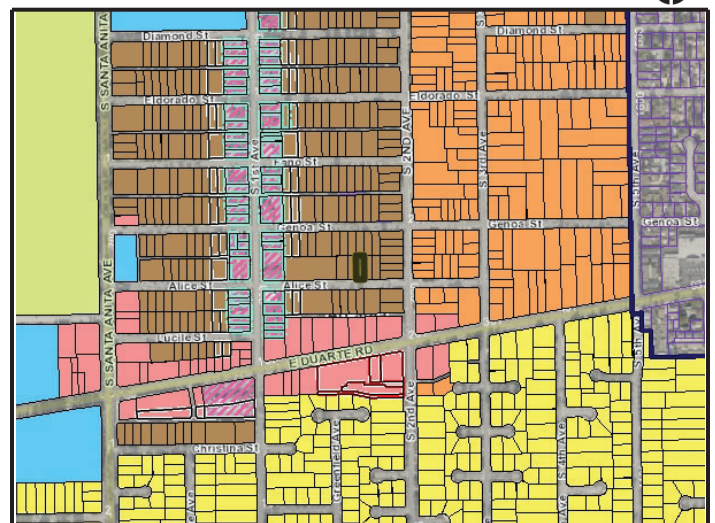
Site Address: **147 ALICE ST**

Property Owner(s): LIU, DIAN WEN AND QIU, MAGGIE Y



Property Characteristics	
Zoning:	R-3
General Plan:	HDR
Lot Area (sq ft):	
Main Structure / Unit (sq. ft.):	1,797
Year Built:	1947
Number of Units:	3
Overlays	
Architectural Design Overlay:	N/A
Downtown Overlay:	N/A
Downtown Parking Overlay:	N/A
Parking Overlay:	N/A
Racetrack Event Overlay:	N/A
Residential Flex Overlay:	N/A
Special Height Overlay:	N/A

Selected parcel highlighted



Parcel location within City of Arcadia



Subject site



155 Alice Street – East neighbor next door



141 – 145 Alice Street – West neighbor next door



Existing multi-family developments across the street from the subject site



Existing multi-family developments across the street from the subject site

Attachment No. 3

Tentative Parcel Map
No. TPM 20-03 (83113)

Attachment No. 4

Architectural Plans

NEW 3-UNIT CONDOMINIUM

147 ALICE STREET
ARCADIA, CA. 91006

PROJECT INFORMATION

OWNER:
SOLEIL HOMES, INC.
C/O MAGGIE QIU
480 LAS TUNAS DRIVE
ARCADIA, CA 91007

OCCUPANCY GROUP: R3 and U

SPRINKLERED – PER CITY ORDINANCE
CODE 8130.14

APPLICABLE CODES / CODE COMPLIANCE
2019 CBC, CMC, CPC, CEC,
2019 TITLE – 24 ENERGY STANDARDS
2019 CALIFORNIA GREEN BUILDING CODE

APN # 5779-017-005
BUILDING TYPE: CONDOMINIUM
PROPERTY AREA (EXCLUDES CITY PARKWAY): 7,500
SQ FT.

PROPOSED 1ST FLOOR FOOTPRINT: 2,524 SQ FT.
NUMBER OF UNITS: 3
NUMBER OF FLOORS: 3

LANDSCAPE FRONT YARD CALCULATION
FRONT YARD AREA= 25' X 50' = 1,250 SQ FT.
MAX HARDSCAPE 40% OF FRONT YARD:
1,250 S.F. X 40% = 500 SQ.F.
PROPOSED HARDSCAPE: 500 SQ. F.

LOT COVERAGE CALCULATION
LOT SIZE = 7,500 SQ.F.
BUILDING COVERAGE= 2,524 SQ FT.
2,524 / 7,500 = 33.6%

PROJECT TABULATION

PROPOSED UNITS	A	B	C
FIRST FLOOR:	502 S.F.	439 S.F.	439 S.F.
SECOND FLOOR:	1,157 S.F.	901 S.F.	876 S.F.
THIRD FLOOR:		837 S.F.	775 S.F.
TOTAL S.F.:	1,659 S.F.	2,177 S.F.	2,090 S.F.
GARAGE:	439 S.F.	367 S.F.	367 S.F.
OPEN SPACE:	421 S.F.	250 S.F.	754 S.F.
BICYCLE PARKING:	2 PROVIDED		
GUEST PARKING:	2 PROVIDED		

CITY NOTES

FIELD VERIFICATION CONTROLLER:
1. VERIFY CONTROLLER INSTALLATION WHEN THE CONTROLLERS ARE INSTALLED BY THE CONTRACTOR AT THE TIME OF BUILDING FINAL.

WASTE NOTE:
1. MUST SAVE FOR RECYCLE OR RE-USE ATLEAST 50% OF THE NON HAZEROUS CONSTRUCTION AND DEMOLITION DEBRIS.

VERIFICATION NOTE:
1. FIELD VERIFICATION WILL BE PROVIDED BY A THIRD PARTY.

PLUMBING NOTE:
1. PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS MENTIONED IN CGBC TABLE 4.304.1. CGBC 4303.3.

FIELD VERIFICATION:
1. DUCT SEALING, SUPPLY DUCT LOCATION, SURFACE AREA AND R-FACTOR.

SHEET INDEX

T1.0	COVER SHT, GENERAL NOTES
T1.1	SITE PLAN
A1.0	1ST FLOOR PLAN
A2.0	2ND FLOOR PLAN
A3.0	3RD FLOOR PLAN
A4.0	ROOF PLAN
A5.0	ELEVATIONS, SECTION
A6.0	ELEVATIONS



REVISIONS

1.
2.
3.
4.



3-UNIT CONDOMINIUM
155, 157 & 159 ALICE STREET
ARCADIA, CA. 91006

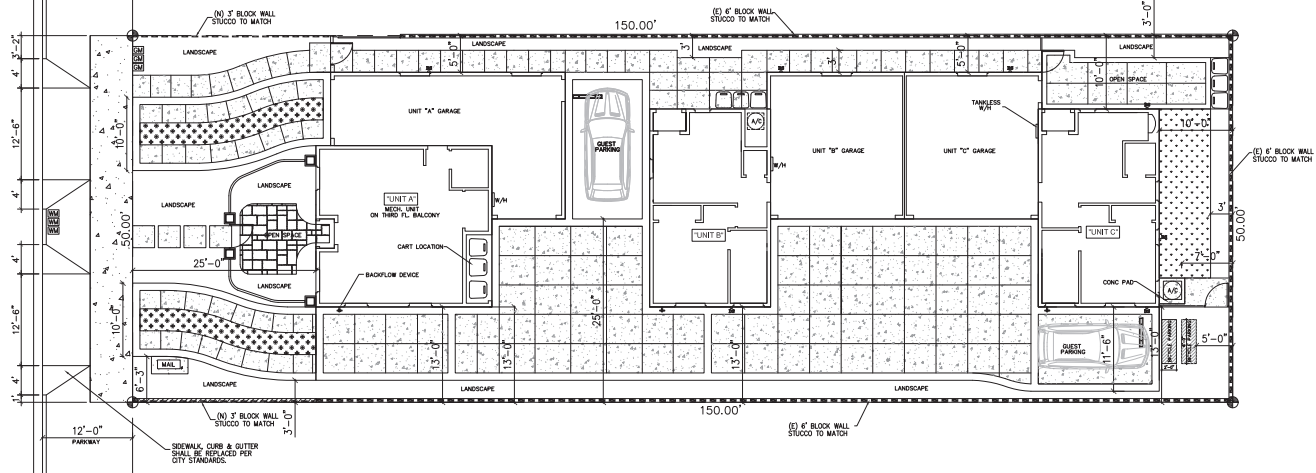
TITLE & PROJECT INFORMATION

12/10/2020

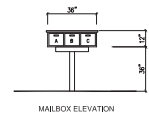
SHEET

T1.0

ALICE ST.



PROPOSED SITE PLAN
1/8" = 1'-0"



REVISIONS	
1.	
2.	
3.	
4.	

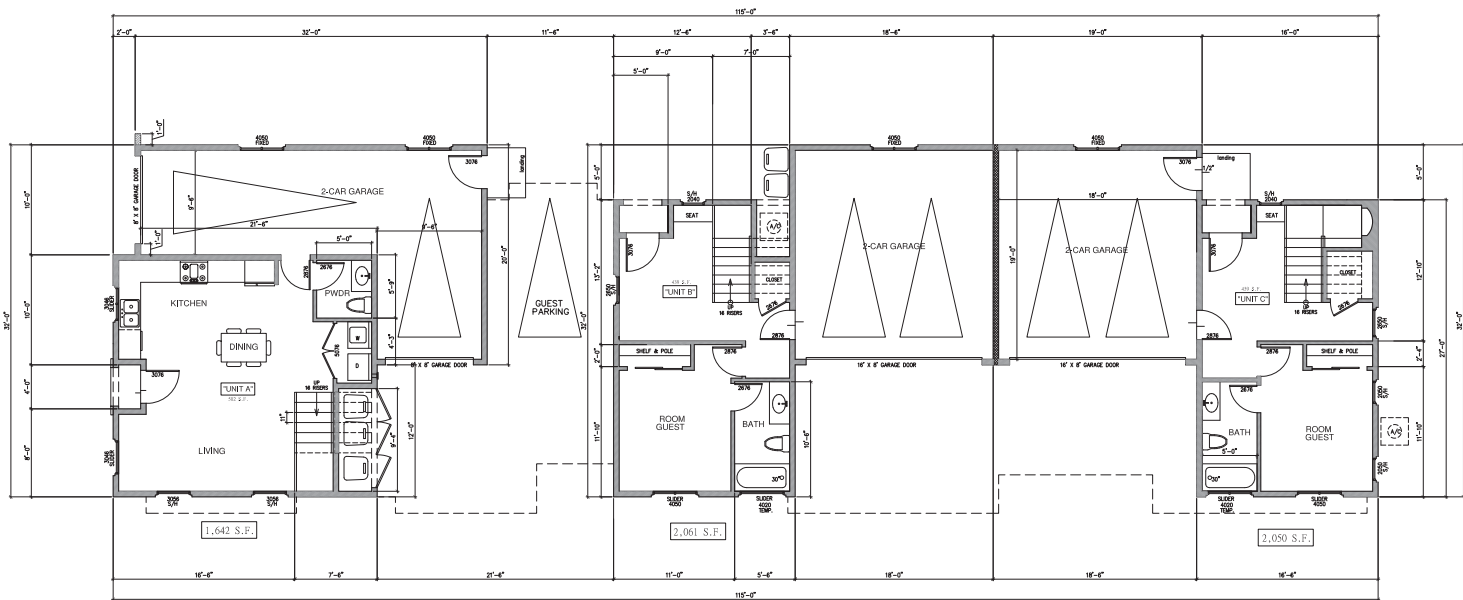
Prestige
Design, Planning, and Development, Inc.
P.O. Box 9009 Arcadia, CA 91006
TEL: 626-444-3333

3-UNIT CONDOMINIUM
147 ALICE STREET
ARCADIA, CA. 91006

TITLE & SITE PLAN

12/10/2020

SHEET
T1.1



PROPOSED 1ST FLOOR PLAN
3/16" = 1'-0"



REVISIONS	
1.	
2.	
3.	
4.	

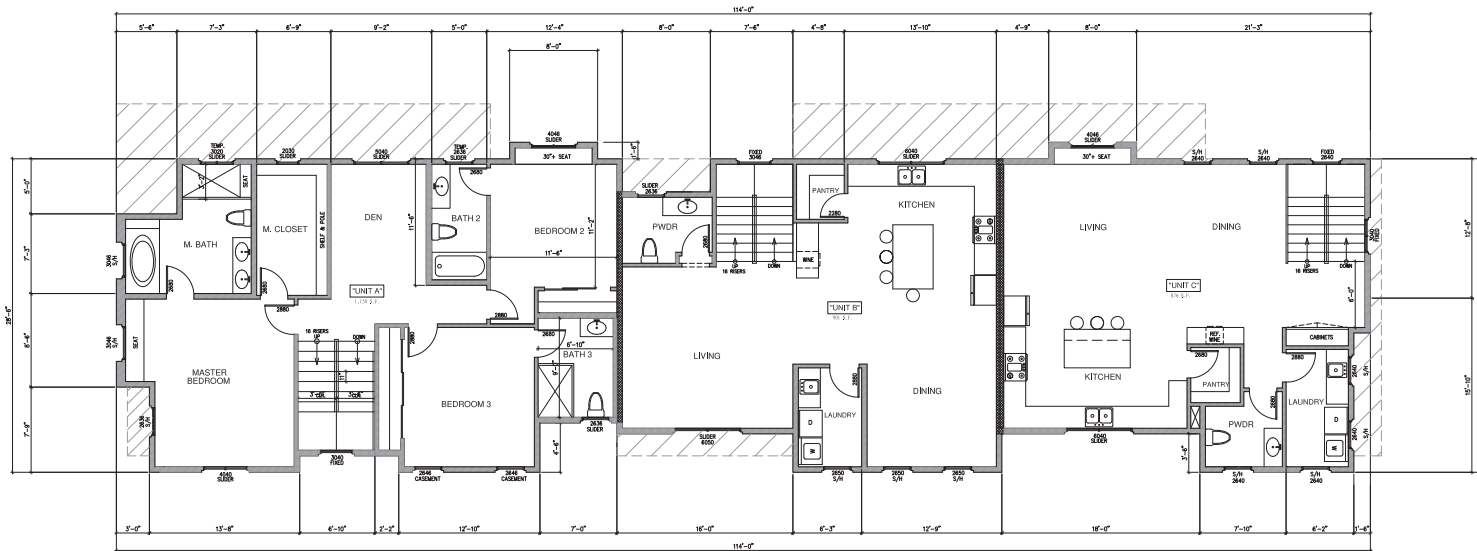
Prestige
Design, Planning, and Development, Inc.
P.O. Box 68000 Arcadia, CA 91006
TEL: 626.441.1000 FAX: 626.441.1002

3-UNIT CONDOMINIUM
147 ALICE STREET
ARCADIA, CA. 91006

FIRST FLOOR PLAN

12/10/2020

SHEET
A1.0



PROPOSED 2ND FLOOR PLAN
 3/16" = 1'-0"



REVISIONS	
1.	
2.	
3.	
4.	

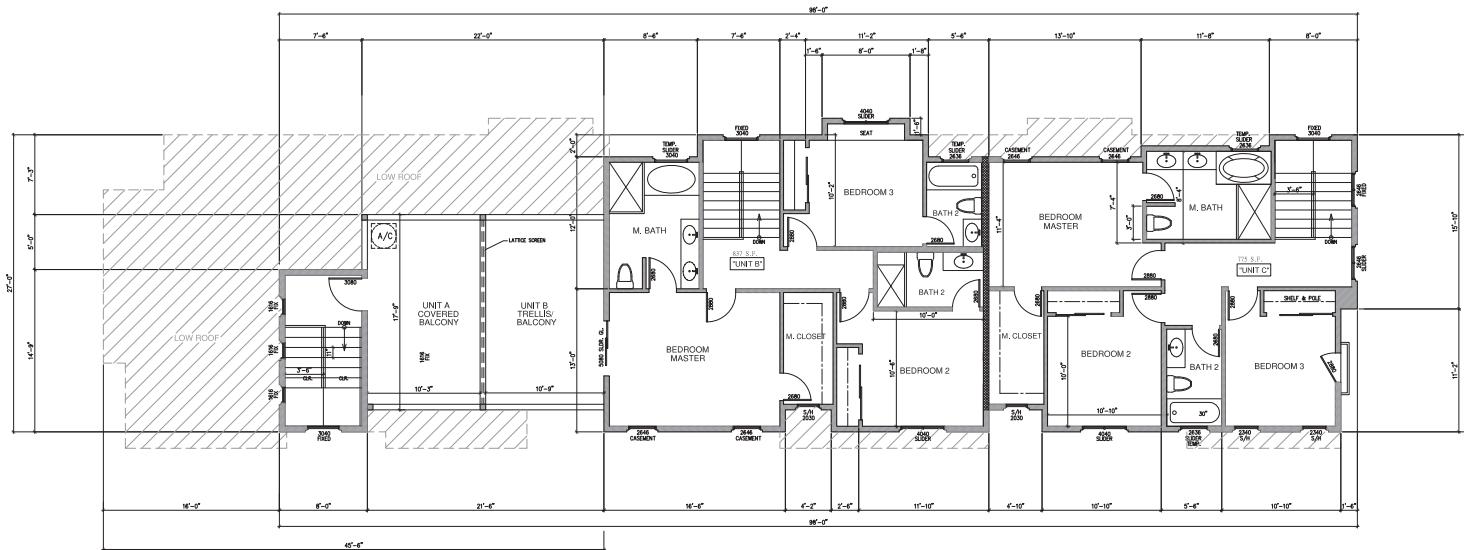
Prestige
 Design, Planning, and Development, Inc.
 P.O. Box 68000 Arcadia, CA 91006
 TEL: 626-444-2222

3-UNIT CONDOMINIUM
 147 ALICE STREET
 ARCADIA, CA. 91006

SECOND FLOOR PLAN

12/10/2020

SHEET
A2.0



PROPOSED 3RD FLOOR PLAN
3/16" = 1'-0"



REVISIONS	
1.	
2.	
3.	
4.	

Prestige
Design, Planning, and Development, Inc.
P.O. Box 68000 Arcadia, CA 91006
TEL: 626-440-2222

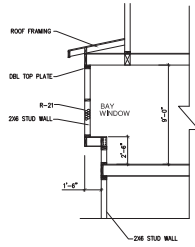


3-UNIT CONDOMINIUM
147 ALICE STREET
ARCADIA, CA. 91006

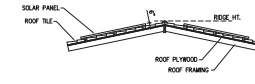
THIRD FLOOR PLAN

12/10/2020

SHEET
A3.0



1 BAY WINDOW SECTION DETAIL



2 SOLAR PANEL SECTION DETAIL



FRONT SOUTH ELEVATION
3/16" = 1'-0"

KEY NOTES:

- 1 — CONC. TILE ROOF OVER 30 LBS. FELT ON ROOF SHEATHING (EAGLE ROOFING PRODUCT)
- 2 — LA HABRA STUCCO— MERLEX P-174 DESERT BEIGE. OR EQUIVALENT.
- 3 — #26 G.A. G.I. FLASHING AT VALLEYS (TYP.) VIEJO WHITE MS-25 COLOR.
- 4 — ALL WINDOW AND DOOR PRECAST MOULDING (COLOR= SALERNO 45) 4" WIDE PRE-CAST CONCRETE ALL ELEVATIONS. MANUFACTURER— PACIFIC STONE OR EQUIVALENT.
- 5 — N/A
- 6 — VINYL WINDOW GRIDS TO BE TAN COLOR OR EQUIVALENT. MANUFACTURER JELD-WEN. SIMULATED LITES.
- 7 — PRE-FAB CONCRETE TRIM (PRE-CAST) SALERNO 45— OR EQUIVALENT.
- 8 — N/A
- 9 — FASCIA PAINTED— DUNN-EDWARDS DEC756 WEATHERED BROWN
- 10 — EXTERIOR DOOR (CHOCOLATE COLOR)
- 11 — WOOD DOOR BY BORANO DOORS, PAINTED DUNN-EDWARDS DEA161 WILD MUSTANG.
- 12 — AMARR GARAGE DOORS (BROWN COLOR OR EQUIVALENT)
- 13 — LIGHT FIXTURE (PROGRESS LIGHTING) 1—LIGHT WALL LANTERN. HT. 15".
- 14 — RAIN GUTTER— COLOR COATES ALUMINUM, MATTE BLACK COLOR.

GENERAL NOTE:

- 1. RAIN GUTTER TO MATCH FASCIA COLOR & DOWN SPOUT TO MATCH EXTERIOR WALL.
- 2. A SMOOTH-TROWELED FINISH SHALL BE USED FOR THE STUCCO.
- 3. ALL WINDOWS TO BE RECESSED A MIN. OF 2" AT EXTERIOR WALL.

EXTERIOR FINISH NOTE

- 1. EXTERIOR PLASTER (STUCCO) 5/8" MINIMUM THICKNESS. (3 COAT) PORTLAND CEMENT W/PAPER BACK METAL LATH. PER [CRC 2510.6]. PROVIDE TWO (2) LAYERS GRADE "D" BUILDING PAPER WHEN APPLIED OVER WOOD SHEETING.



REAR NORTH ELEVATION
3/16" = 1'-0"

REVISIONS	
1.	
2.	
3.	
4.	

Prestige
Design, Planning, and Development, Inc.
P.O. Box 68000 Arcadia, CA 91006
TEL: 626-444-2222



3-UNIT CONDOMINIUM
147 ALICE STREET
ARCADIA, CA. 91006

ELEVATIONS

12/10/2020

SHEET
A5.0

REVISIONS	
1.	
2.	
3.	
4.	

Prestige
Design, Planning, and Development, Inc.
P.O. Box 66000 Arcadia, CA 91706
TEL: 626-444-8000



3-UNIT CONDOMINIUM
147 ALICE STREET
ARCADIA, CA. 91006

ELEVATIONS

12/10/2020

SHEET
A6.0



RIGHT EAST ELEVATION
3/16" = 1'-0"

KEY NOTES:

- | | | |
|---|---|--|
| <p>1 — CONC. TILE ROOF OVER 30 LBS. FELT ON ROOF SHEATHING (EAGLE ROOFING PRODUCT)</p> <p>2 — LA HABRA STUCCO— MERLEX P-174 DESERT BEIGE. OR EQUIVALENT.</p> <p>3 — #26 G.A. G.I. FLASHING AT VALLEYS (TYP.) VIEJO WHITE MS-25 COLOR.</p> <p>4 — ALL WINDOW AND DOOR PRECAST MOULDING (COLOR= SALERNO 45) 4" WIDE PRE-CAST CONCRETE ALL ELEVATIONS. MANUFACTURER— PACIFIC STONE OR EQUIVALENT.</p> <p>5 — N/A</p> | <p>6 — VINYL WINDOW GRIDS TO BE TAN COLOR OR EQUIVALENT. MANUFACTURER JELD-WEN. SIMULATED LITES.</p> <p>7 — PRE-FAB CONCRETE TRIM (PRE-CAST) SALERNO 45— OR EQUIVALENT.</p> <p>8 — EXTERIOR AWNING— FABRIC MATERIAL</p> <p>9 — FASCIA PAINTED— DUNN-EDWARDS DEC756 WEATHERED BROWN</p> <p>10 — EXTERIOR DOOR (CHOCOLATE COLOR)</p> <p>11 — WOOD DOOR BY BORANO DOORS, PAINTED DUNN-EDWARDS DEA161 WILD MUSTANG.</p> | <p>12 — AMARR GARAGE DOORS (BROWN COLOR OR EQUIVALENT)</p> <p>13 — LIGHT FIXTURE (PROGRESS LIGHTING) 1—LIGHT WALL LANTERN. HT. 15".</p> <p>14 — RAIN GUTTER— COLOR COATES ALUMINUM, MATTE BLACK COLOR.</p> |
|---|---|--|

GENERAL NOTE:

1. RAIN GUTTER TO MATCH FASCIA COLOR & DOWN SPOUT TO MATCH EXTERIOR WALL.
 2. A SMOOTH-TROWELED FINISH SHALL BE USED FOR THE STUCCO.
 3. ALL WINDOWS TO BE RECESSED A MIN. OF 2" AT EXTERIOR WALL.
- EXTERIOR FINISH NOTE**
1. EXTERIOR PLASTER (STUCCO) 5/8" MINIMUM THICKNESS. (3 COAT) PORTLAND CEMENT W/PAPER BACK METAL LATH. PER [CRC 2510.6]. PROVIDE TWO (2) LAYERS GRADE "D" BUILDING PAPER WHEN APPLIED OVER WOOD SHEETING.



LEFT WEST ELEVATION
3/16" = 1'-0"

PLANTING LEGEND

SHRUBS

- 15 GAL. PRUNUS CAROLINIANA 'COMPACTA' CAROLINA CHERRY (M) @ 4" O.C.
- 5 GAL. CUPRESSUS S. 'MONSIEUR' TINY TOWER ITALIAN CYPRESS (L) @ 36" O.C.

SHRUBS

- 5 GAL. SALVIA L. 'SANTA BARBARA' MEXICAN SAGE BUSH (L) @ 24" O.C.
- 5 GAL. CALLISTEMON 'LITTLE JOHN' LITTLE JOHN BOTTLEBRUSH (L) @ 24" O.C.
- 5 GAL. JUNCUS PATENS CALIFORNIA GREY RUSH (L) @ 24" O.C.
- 5 GAL. DIANELLA REVOLUTA 'LITTLE REV' LITTLE REV FLAX LILY (L) @ 24" O.C.
- 5 GAL. ROSA 'MIDLAND PINK' PINK MIDLAND SHRUB ROSE (M) @ 24" O.C.
- 5 GAL. RHAPHIOLEPIS U. 'MINOR' DWARF YEDDO HAWTHORN (M) @ 36" O.C.
- 5 GAL. LAVANDULA 'HIDCOTE BLUE' 'HIDCOTE BLUE' LAVENDER (L) @ 24" O.C.
- 5 GAL. COLONEMA PULCHRUM PINK BREATH OF HEAVEN (M) @ 36" O.C.

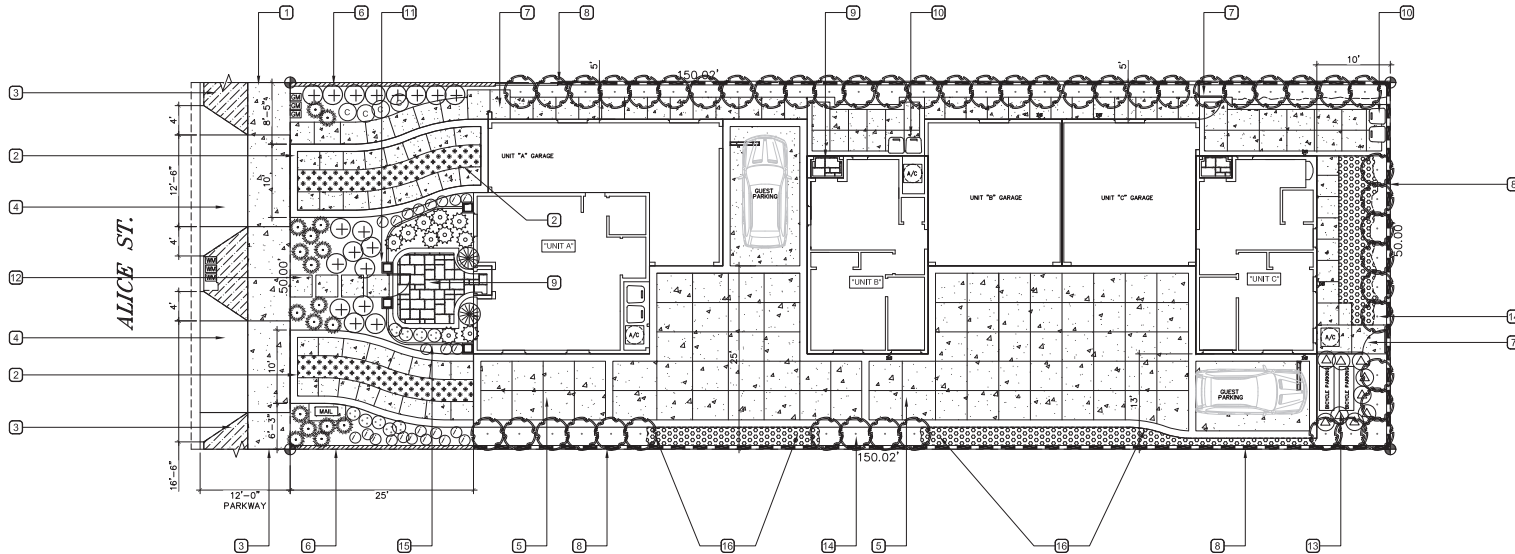
SHRUBS

- 1 GAL. ANIGONANTHOS 'RED STAR' RED KANGAROO PAW (L) @ 18" O.C.
 - 1 GAL. LANTANA 'NEW GOLD' DWARF LANTANA (L) @ 18" O.C.
 - 1 GAL. DYMONDIA MARGARETAE SILVER CARPET (L) @ 8" O.C.
 - 1 GAL. FESTUCA 'ELIJAH BLUE' BLUE FESCUE (M) @ 12" O.C.
- ARTIFICIAL TURF

NOTE:
 1. APPLY 3" MIN. OF ORGANIC BARK MULCH IN ALL FINISHED GRADE AFTER PLANTING
 2. MUCOLS REGION 4 HYDROZONE: (L)W, (W)T WARM SEASON TURF

DESCRIPTIONS:

1. EXISTING SIDEWALK
2. NEW ACID WASH CONCRETE DRIVEWAY WITH 36" ARTIFICIAL GRASS STRIP
3. REMOVE EXISTING TURF AND PLANT NEW DROUGHT TOLERANT GROUND COVER IN PARKWAY
4. NEW DRIVE APPROACH
5. NEW CONCRETE DRIVEWAY WITH 12" SCORED BORDER, STRAIT PATTERN AS SHOWN
6. NEW 36" CMU WALL WITH STUCCO TO MATCHING BUILDING
7. NEW 6" W.I. SIDE GATE ATTACHED TO NEW 6" W.I. FENCE, W.I. FENCE TO CONNECT TO EXISTING 6" CMU WALL
8. EXISTING 6" CMU PROPERTY WALL TO REMAIN WITH NEW STUCCO COLOR TO MATCHING BUILDING
9. NEW STONE PAVERS AT PORCH; TYP.
10. AREA INDICATES TRASH RECEPTACLE LOCATIONS
11. NEW 36" HT. X 24" SQ. 'UNIT-A' PEDESTRIAN GATE
12. NEW CONCRETE STEPPING STONE WITH 6" CRUSHED GRAVEL GAP
13. AREA INDICATES SPACE FOR BICYCLE PARKING/RACKS
14. NEW 'CAROLINA CHERRY' TALL SCREEN HEDGE ALONG PROPERTY WALL PER PLANNING CONDITION
15. NEW 36" HT. W.I. FENCE FOR UNIT-A
16. GROUND COVER FOR CAR-OVER-HANG, 25' FROM PARKING BACK-OUT SPACES



TWO TREES DESIGN, INC.
 LANDSCAPE ARCHITECTURAL DESIGN SERVICES
 1155 S. STATE ST. SUITE 207 WEST COVINA, CA. 91792
 (626) 971-8881
 www.treetreesdesign.com



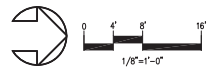
CONCEPTUAL LANDSCAPE PLAN

3-UNIT CONDOMINIUM
 147 ALICE ST.
 ARCADIA, CA. 91006

DATE	REVISIONS

SCALE	AS SHOWN
DATE	11-20-2020
PROJECT NO.	F1914
DRAWN BY	HTF
CHECKED BY	

SHEET NO.
 OF 1 SHEETS



© 2020 TWO TREES DESIGN, INC. All rights reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the express written permission and consent of TWO TREES DESIGN, INC.

Attachment No. 5

Preliminary Exemption Assessment



CITY OF
ARCADIA

PRELIMINARY EXEMPTION ASSESSMENT

1. Name or description of project:	MFADR 19-04 and TPM 20-03 (83113) – A tentative parcel map for a three-unit residential condominium development with a Categorical Exemption under the California Environmental Quality Act (“CEQA”)	
2. Project Location – Identify street address and cross streets or attach a map showing project site (preferably a USGS 15’ or 7 1/2’ topographical map identified by quadrangle name):	147 Alice Street (Alice Street & S. 2 nd Avenue)	
3. Entity or person undertaking project:	A.	
	B. Other (Private)	
	(1) Name	Tom Li of Prestige Design, Planning & Development, Applicant
	(2) Address	PO Box 660866 Arcadia, CA 91066
4. Staff Determination: The Lead Agency’s Staff, having undertaken and completed a preliminary review of this project in accordance with the Lead Agency’s "Local Guidelines for Implementing the California Environmental Quality Act (CEQA)" has concluded that this project does not require further environmental assessment because:		
a. <input type="checkbox"/>	The proposed action does not constitute a project under CEQA.	
b. <input type="checkbox"/>	The project is a Ministerial Project.	
c. <input type="checkbox"/>	The project is an Emergency Project.	
d. <input type="checkbox"/>	The project constitutes a feasibility or planning study.	
e. <input checked="" type="checkbox"/>	The project is categorically exempt.	
	Applicable Exemption Class:	15332 – Class 32 (In-Fill Development)
f. <input type="checkbox"/>	The project is statutorily exempt.	
	Applicable Exemption:	
g. <input type="checkbox"/>	The project is otherwise exempt on the following basis:	
h. <input type="checkbox"/>	The project involves another public agency, which constitutes the Lead Agency.	
	Name of Lead Agency:	

Date: January 26, 2021

Staff: Luis Torrico, Senior Planner



**ARCADIA PLANNING COMMISSION
REGULAR MEETING MINUTES
TUESDAY, DECEMBER 22, 2020**

CALL TO ORDER Chair Lewis called the meeting to order at 7:00 p.m. in the Council Chamber.

She also informed the public of a call-in number that was established for public comments.

PLEDGE OF ALLEGIANCE

ROLL CALL

PRESENT: Chair Lewis
PRESENT (Via telephone): Vice Chair Wilander, Chan, Lin, and Thompson
ABSENT: None

SUPPLEMENTAL INFORMATION FROM STAFF REGARDING AGENDA ITEMS

Chair Lewis introduced Senior Planner Luis Torrico since Lisa Flores, the Planning & Community Development Administrator could not be present for tonight's meeting. Mr. Torrico had no supplemental information.

PUBLIC COMMENTS (5 minute time limit per person)

There were none.

PUBLIC HEARING

- Resolution No. 2068** – Approving an Amendment of Conditional Use Permit No. CUP 17-11 with a Categorical Exemption under the California Environmental Quality Act (“CEQA”) to expand the operation of an existing personal training fitness facility with physical therapy and acupuncture services within an existing 5,044 square foot commercial unit at 36 W. Live Oak Avenue

Recommendation: Adopt Resolution No. 2068

Applicant: Yen Jung Tu

Chair Lewis introduced the item and turned it over to Associate Planner Christine Song to present the staff report.

Chair Lewis asked if the Applicant would like to speak on the item.

The Applicant stated that the fitness facility is family-owned and the extended services will only be available to gym members.

There were no questions of the Applicant.

Chair Lewis asked if there was any caller on the line to comment on the proposal.

There were no callers for this agenda item.

MOTION- PUBLIC HEARING

It was moved by Commissioner Chan, seconded by Chair Lewis to close the public hearing. Without objection, the motion was approved.

DISCUSSION

Commissioner Chan stated that the new services would complement the existing business and that he was in favor of the proposal.

Commissioner Lin agreed with Commissioner Chan and expressed support.

Commissioner Thompson stated that the nature of a Conditional Use Permit is that staff can revisit when there are minor alterations to the use that is permitted. There have been no parking issues associated with the facility; and given that this is a use within the existing use, there is no additional parking impact. The facts to support the findings and the staff report were well written and he was in favor of the proposal.

Vice Chair Wilander inquired about the potential parking impact should people stay longer to utilize the additional services.

Chair Lewis added that the extended services would only be available to gym members so they would be able to regulate traffic and keep the parking lot under control.

Ms. Song further explained that the new services are available by appointment only; and it is up to the Applicant and Business Owner to manage the maximum capacity on site, which is one of the conditions of approvals.

Mr. Torrico added that staff would also have the ability to revisit the Conditional Use Permit should any parking issues arise.

Chair Lewis stated that she does not foresee a parking problem since the services are members-only and that she was also in favor of the proposal.

MOTION

It was moved by Commissioner Thompson, seconded by Vice Chair Wilander to adopt Resolution No. 2068, approving an Amendment of Conditional Use Permit No. CUP 17-11 with a Categorical Exemption under the California Environmental Quality Act ("CEQA") to expand the operation of an existing personal training fitness facility with physical therapy and acupuncture services within an existing 5,044 square foot commercial unit at 36 W. Live Oak Avenue

ROLL CALL

AYES: Chair Lewis, Vice Chair Wilander, Chan, Lin, and Thompson
NOES: None
ABSENT: None

There is a ten day appeal period after the adoption of the Resolution. Appeals are to be filed by 5:30 p.m. on Monday, January 4, 2021.

- 2. Resolution No. 2069** – Approving Conditional Use Permit No. CUP 20-13 with a Categorical Exemption under the California Environmental Quality Act (“CEQA”) to allow a tattoo business at 158 E. Duarte Road, Suite A

Recommendation: Adopt Resolution No. 2069

Applicant: Michael T. Montoya

Chair Lewis introduced the item and turned it over to Senior Planner Luis Torrico to present the staff report.

Chair Lewis asked if the Applicant would like to speak on the item.

Mr. Montoya stated that he had nothing to add but could answer any questions the Commissioners may have.

Commissioner Chan inquired about the legal requirements to become a tattoo artist.

Mr. Montoya explained that an individual would be required to obtain a body art license from the Health Department and demonstrate an understanding of blood borne pathogens and sterilization by passing an exam.

Chair Lewis asked if there was any caller on the line to comment on the proposal.

There were no callers for this agenda item.

MOTION- PUBLIC HEARING

It was moved by Vice Chair Wilander, seconded by Chair Lewis to close the public hearing. Without objection, the motion was approved.

DISCUSSION

Commissioner Chan noted that it is a good location and welcomed the business to the City of Arcadia.

Commissioner Lin did not have any comment.

Commissioner Thompson stated that the business location is within the retail C-G zoning and is by appointment only so there should not be a lot of overlap in parking. He commended Staff for their due diligence in contacting both the Arcadia Police Department and the Los Angeles County Sheriff’s Department; with no known concerns with the proposed tattoo business. He stated that the use will have the same parking requirement as the previous occupancy and that the findings in the staff report warranted approval of the proposal.

Vice Chair Wilander agreed with Commissioner Thompson’s comments.

Chair Lewis added that the proposed business is a good fit within the area and she was inclined to approve it.

MOTION

It was moved by Vice Chair Wilander, seconded by Commissioner Chan to adopt Resolution No. 2069, approving Conditional Use Permit No. CUP 20-13 with a Categorical Exemption under the California Environmental Quality Act ("CEQA") to allow a tattoo business at 158 E. Duarte Road, Suite A.

ROLL CALL

AYES: Chair Lewis, Vice Chair Wilander, Chan, Lin, and Thompson
NOES: None
ABSENT: None

There is a ten day appeal period after the adoption of the Resolution. Appeals are to be filed by 5:30 p.m. on Monday, January 4, 2021.

CONSENT CALENDAR

3. Minutes of the December 8, 2020 Regular Meeting of the Planning Commission

Recommendation: Approve

It was moved by Commissioner Chan, seconded by Chair Lewis to approve the minutes of the December 8, 2020 Planning Commission Regular Meeting.

ROLL CALL

AYES: Chair Lewis, Vice Chair Wilander, Chan, Lin, and Thompson
NOES: None
ABSENT: None

MATTERS FROM CITY COUNCIL LIAISON

Council Liaison Cheng stated that the Homeless Hub informational seminar just occurred and thanked those who participated. He expressed the sentiment that the longer he serves the City, the smaller he feels as he is humbled by the people he works with. He thanked the Planning Commission for the immense work they do.

MATTERS FROM THE PLANNING COMMISSONERS

Commissioner Thompson wished everyone a happy holiday and hoped for a better year next year.

Vice Chair Wilander also wished her fellow commissioners and the City staff a happy holiday and a better 2021.

Chair Lewis wished everyone a Merry Christmas and happy celebration of the New Year. She also announced that January 20, 2021, will be her last day in the City of Arcadia as she will be moving to New

Mexico. Chair Lewis thanked the Commissioners and staff for being a joy to work with and asked Council Member Cheng to extend her gratitude to the City Council for their faith in her. She stated that it has been a pleasure to serve on the Planning Commission.

MATTERS FROM ASSISTANT CITY ATTORNEY

Assistant City Attorney Maurer informed the Commissioners that a few interesting bills were introduced at the legislature earlier this month, particularly in the housing and land use area, and he will report back next month. He also thanked Chair Lewis for the work she has done on the Commission.

MATTERS FROM STAFF INCLUDING UPCOMING AGENDA ITEMS

Mr. Torrico acknowledged and expressed gratitude to Chair Lewis for her work on the Commission and to the City.

ADJOURNMENT

The Planning Commission adjourned the meeting at 7:00 p.m. to Tuesday, January 12, 2021 at 7:00 p.m. in the City Council Chamber for the next virtual meeting.

Marilynne Wilander
Chair, Planning Commission

ATTEST: _____
Lisa Flores
Secretary, Planning Commission